#### NISHIYAMA RESIDENCE/OTOMISAN JAPANESE RESTAURANT

2504-2508 East 1<sup>st</sup> Street CHC-2020-6022-HCM ENV-2020-6023-CE

# Agenda packet includes:

- 1. Final Determination Staff Recommendation Report
- 2. Commission/ Staff Site Inspection Photos—July 8, 2021
- 3. Categorical Exemption
- 4. <u>Under Consideration Staff Report</u>
- 5. <u>Historic-Cultural Monument Application</u>

Please click on each document to be directly taken to the corresponding page of the PDF.

# Los Angeles Department of City Planning RECOMMENDATION REPORT

**CULTURAL HERITAGE COMMISSION** 

CASE NO.: CHC-2020-6022-HCM ENV-2020-6023-CE

**HEARING DATE:** August 5, 2021 TIME: 10:00 AM

PLACE: Teleconference (see

agenda for login information)

**EXPIRATION DATE:** The original expiration date of March 20, 2021, is tolled, and a revised date will be determined pursuant to the Mayor's March 21, 2020, Public Order Under City of Los Angeles Emergency Authority re: Tolling of Deadlines Prescribed in the Municipal Code and April 17, 2020. Public Order Under City of Los Angeles Emergency Authority re: Tolling HCIDLA Deadlines and Revising Expiration of Emergency Orders.

The time to act on this item has been tolled for the duration of the local emergency period. Please note that other State law provisions may also apply.

Location: 2504-2508 E. 1st Street Council District: 14 – de León

Community Plan Area: Boyle Heights

Land Use Designation: Highway Oriented and

**Limited Commercial** 

Zoning: C2-1-CUGU

Area Planning Commission: East Los Angeles

Neighborhood Council: Boyle Heights

Legal Description: Kittredge's Subdivision of a

Portion of Lot 5 Block 73 Hancocks Survey Tract, Lot 2

PROJECT: Historic-Cultural Monument Application for the

NISHIYAMA RESIDENCE/OTOMISAN JAPANESE RESTAURANT

REQUEST: Declare the property an Historic-Cultural Monument

**OWNERS:** Leo Hayashi Et al., Trustees Leo Havashi

Hayashi Trust and Lea M. Hayashi

2625 East 1st Street Los Angeles, CA 90033

2620 Pennsylvania Avenue Los Angeles, CA 90033

Leo Hayashi Et al., Trustees

Hayashi Trust and Lea M. Hayashi

901 Wandering Drive Monterey Park, CA 90754 Jeffrey Siegel.

The June M. Hayashi Trust 1055 Wilshire Blvd., Ste. 1710 Los Angeles, CA 90017

Arturo Yoshimoto 2625 East 1st Street Los Angeles, CA 90033

**APPLICANTS:** M. Rosalind Sagara

> Los Angeles Conservancy 523 West 6th Street, Suite 826

Los Angeles, CA 90014

Vivian Escalante

**Boyle Heights Community Partners** 

603 North Breed Street Los Angeles, CA 90033

M. Rosalind Sagara PREPARERS:

> Los Angeles Conservancy 523 West 6th Street, Suite 826 Los Angeles, CA 90014

Andrea Griego

**Boyle Heights Community Partners** 

1730 Kathleen Court West Covina, CA 91792

### **RECOMMENDATION** That the Cultural Heritage Commission:

- 1. **Declare the subject property** an Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.7.
- 2. Adopt the staff report and findings.

VINCENT P. BERTONI, AICP Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Principal City Planner Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Preservation Architect Office of Historic Resources [SIGNED ORIGINAL IN FILE]

Shannon Ryan, Senior City Planner Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Melissa Jones, City Planning Associate Office of Historic Resources

Attachments: Commission/Staff Site Inspection Photos—July 8, 2021

Historic-Cultural Monument Application

#### **FINDINGS**

- The Nishiyama Residence/Otomisan Japanese Restaurant "exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community" for its association with early Japanese American settlement patterns in Boyle Heights and for its association with commercial development along the E. 1st Street streetcar line in the 1920s.
- The Nishiyama Residence/Otomisan Japanese Restaurant "embodies the distinctive characteristics of a style, type, period, or method of construction" as a well-preserved example of a modest single-family residence designed in the Queen Anne architectural style.

#### **CRITERIA**

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles if it meets at least one of the following criteria:

- Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
- 2. Is associated with the lives of historic personages important to national, state, city, or local history; or
- 3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

#### SUMMARY

The Nishiyama Residence/Otomisan Japanese Restaurant is a one-story commercial building with a one and one-half-story single-family residence at the rear located on E. 1st Street between S. Mathews Street and S. Fickett Street in the Boyle Heights neighborhood of Los Angeles. Constructed in 1890, the residence was designed in the Queen Anne architectural style. In 1925, then-owner Ryohei Nishiyama moved the residence to the rear of the lot and constructed the vernacular-style commercial building facing E. 1st Street. Originally a Japanese grocery store, the commercial building was converted to a food establishment in the 1950s, and in 1956, Otemo Sushi Café (now called Otomisan Japanese Restaurant) opened in the easternmost storefront of the building. Still operating today, Otomisan Japanese Restaurant is the last remaining Japanese restaurant in the neighborhood and believed to be one of the oldest continuously operating Japanese restaurants in Los Angeles.

Boyle Heights is among the oldest communities in Los Angeles and was developed as one of the city's first residential suburbs. Up until the late nineteenth century, when William Henry Workman developed the Boyle Heights subdivision and the completion of the transcontinental rail line to Southern California spurred a real estate boom, the area retained a pastoral character and remained almost entirely undeveloped. In addition to platting a system of streets and parcels for Boyle Heights, Workman constructed a horse-drawn streetcar line that crossed the Los Angeles River at Aliso Street and ran down Pleasant Avenue and First Street to connect the area to the city's core. Over the years, interurban transportation accelerated the pace of development in the region and ultimately transformed the sparsely populated area into a more urbanized streetcar suburb. Between 1880 and 1900, Boyle Heights' population had increased from 300 or 400 families to 10,670 people; the population continued

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to steadily increase until the 1920s, at which point Boyle Heights had largely been built out. This rapid residential growth was accompanied by the development of various commercial and institutional uses to serve the day-to-day needs of the area's growing population. Conforming to a pattern typical of streetcar suburbs, commercial development mostly occurred along what were then the community's two principal streetcar routes, 1st Street and Brooklyn Avenue (now E. Cesar E. Chavez Avenue).

In the first decade of the 20<sup>th</sup> century, Los Angeles was home to the largest *Issei*, or Japanese immigrant, population of any city in California. For this community, districts along E. First Street and W. Sixth Street in Downtown served as the primary residential and commercial neighborhoods, in addition to providing transitional services for new immigrants. Alongside the employment agencies for new arrivals, the neighborhoods contained a number of Japanese rooming houses for single male laborers, a few single-family residences rented out to Japanese families, and a growing number of commercial stores, service establishments, and social/cultural centers that served *Issei* communities throughout Southern California. By 1906, the E. First Street area became known as Little Tokyo and had a high concentration of Japanese businesses and residences east of Alameda Street. However, between 1910 and 1915, the Japanese community began to expand into small enclaves outside of Downtown Los Angeles, including Boyle Heights. The more suburban environment and absence of restrictive covenants made Boyle Heights desirable for many Japanese families looking to purchase homes. Along with several important religious and cultural institutions, commercial establishments, specifically restaurants, anchored the Japanese community in Boyle Heights for years to come.

The 1890 single-family residence is located to the south (rear) of the lot and faces E. 1st Street. Irregular in plan, the residence is of wood-frame construction with wooden clapboard siding and has an intersecting gable and hipped roof with composition shingles. The primary, north-facing elevation is asymmetrically composed and features a raised and recessed front porch. The main entrance is accessed from the porch and is obscured by a metal security door. A secondary entry is accessed from a short staircase with a railing on the east-facing elevation. Fenestration includes transom windows, bay windows, and double-hung windows, many with wood surrounds. Ornamental elements include spandrels, spindle work, turned wood posts, sunrise motifs, and fish scale cladding on the gable ends.

The 1925 commercial building is located to the north of the lot and fronts E. 1st Street. Rectangular in plan, the building is of wood-frame construction with stucco and wood siding and has a flat roof. The primary, north-facing elevation has three storefronts, each with a primary entrance consisting of wooden doors, transoms, and display windows. The easternmost storefront, Otomisan Restaurant, has a wood awning and exterior wood screens partially covering the storefront windows. Two projecting signs are located above the east and middle storefronts. The westernmost storefront has flush-mount signage. The interior of Otomisan Restaurant features red button tufted booths, built-in wood cabinets, laminate wood paneling, and counter seating.

Since the relocation of the residence to the rear of the parcel and the subsequent construction of the commercial building in 1925, the subject property has experienced several alterations. Alterations to the commercial building include the installation of wood flooring in 1927; the addition of interior partitions and the construction of a room to the rear of the building in 1929; the construction of a private storage room in 1937; the removal of interior partitions and addition of glass panels to the storefront in 1946; the addition of a wall to divide one store into two, the addition of a bathroom and window, and the application of stucco to the primary elevation in 1951; the construction of a storage room to the rear elevation in 1967; and the installation of a plexiglass sign for Otomisan Japanese Restaurant in 1979. Further, alterations to the single-family residence include the replacement of many of the windows, the installation of security bars over the windows and security doors, and an addition at the rear, all at unknown dates. During the Commission site inspection, it was also noted that the flooring of the single-family residence had been replaced with laminate and several partitions on the ground floor had been constructed, all at unknown dates.

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In 2001, the 1890 single-family residence was found to be eligible for listing under the federal designation program and was concurrently listed in the California Register of Historical Resources as a well-preserved example of the Queen Anne architectural style. Additionally, SurveyLA, the citywide historic resources survey, identified the Otomisan Japanese Restaurant as individually eligible for listing under the local designation program as a long-term location of a business important to the commercial identity of Boyle Heights, noting that it is believed to be the last remaining Japanese restaurant in the area. In addition, the restaurant was identified as significant in the SurveyLA Japanese-American historic context statement for the same reasons.

#### **DISCUSSION**

The Nishiyama Residence/Otomisan Japanese Restaurant meets two of the Historic-Cultural Monument criteria: it "exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community" for its association with early Japanese American settlement patterns in Boyle Heights and for its association with commercial development along the E. 1st Street streetcar line in the 1920s; and it "embodies the distinctive characteristics of a style, type, period, or method of construction" as a well-preserved example of a modest single-family residence designed in the Queen Anne architectural style.

The subject property represents the story of Japanese American entrepreneurship before and after World War II in Boyle Heights. The pioneering *Issei* generation recognized early on that they had to rely on their own efforts to meet the social, cultural, and educational needs of their community. As an example, the Nishiyama family, who owned the property in 1925 and constructed the commercial building facing E. 1st Street, created economic mobility for Japanese and Japanese Americans in Boyle Heights during a time when their opportunities were restricted due to land ownership, housing, and job discrimination. The commercial building originally housed a Japanese-operated grocery store, and later included a Japanese-operated florist shop and barber shop before the Japanese restaurant opened in the mid-1950s. Dining establishments such as the Otomisan Japanese Restaurant is part of a larger history of Japanese American commercial development in Boyle Heights and Los Angeles. Restaurants were the main business of Japanese immigrants who first settled in Los Angeles before 1900 and locales such as the subject property have served as important anchors of the Japanese American community in Boyle Heights for decades.

The expansion of the streetcar network in Los Angeles led to a differentiation between neighborhood and Downtown commerce. The streetcar made access to the central city easier, and as a result, large-scale establishments in Downtown Los Angeles served the specialized needs of customers, while neighborhood stores, like those in Boyle Heights' business district along 1st Street, provided everyday essentials within smaller, less impressive structures. The pedestrian orientation, single-story storefront with housing behind, and vernacular architectural design of the subject property are reflective of neighborhood commercial development built in response to the streetcar line that serviced the Boyle Heights community. Also, Japanese-operated grocery stores and restaurants in Los Angeles were largely located on streetcar routes and the building at 2504-2506 ½ E. 1st Street is a rare remaining example of 1920s streetcar commercial development in the neighborhood.

Furthermore, the single-family residence represents a modest Queen Anne cottage constructed for working and middle-class families. The Queen Anne architectural style became the most dominant style in residential architecture in the United States from 1880- 1900, popularized by the distribution of pattern books and architectural magazines. Although Queen Anne architecture was often a style associated with the upper and middle- and wealthy-class, smaller more modest Queen Anne-style residences were also constructed for the middle- and working class. Modest single-family Queen Anne

cottages once were a ubiquitous housing style constructed throughout the United States from the 1880s through the first decade of the 20<sup>th</sup> century and were often built by real estate speculators in early Los Angeles residential subdivisions. Queen Anne cottages were smaller and less decorative than the custom Queen Anne residences of the upper middle and wealthy classes. The subject property's asymmetrical massing, combination wood clapboard and shingle siding, prominent covered front porch, tall, narrow windows, and decorative millwork detailing are all characteristics of the Queen Anne architectural style.

Despite interior and exterior alterations, the subject property retains sufficient integrity of location, design, setting, materials, workmanship, feeling, and association to convey its significance.

#### CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FINDINGS

State of California CEQA Guidelines, Article 19, Section 15308, Class 8 "consists of actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment."

State of California CEQA Guidelines Article 19, Section 15331, Class 31 "consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic buildings."

The designation of the Nishiyama Residence/Otomisan Japanese Restaurant as an Historic-Cultural Monument in accordance with Chapter 9, Article 1, of The City of Los Angeles Administrative Code ("LAAC") will ensure that future construction activities involving the subject property are regulated in accordance with Section 22.171.14 of the LAAC. The purpose of the designation is to prevent significant impacts to a Historic-Cultural Monument through the application of the standards set forth in the LAAC. Although the single-family residence is currently listed on the California Register of Historical Resources, without the regulation imposed by way of the pending designation that includes the front commercial building, the historic significance and integrity of the subject property in its entirety could be lost through incompatible alterations and new construction and the demolition of an irreplaceable historic site/open space. The Secretary of the Interior's Standards for Rehabilitation are expressly incorporated into the LAAC and provide standards concerning the historically appropriate construction activities which will ensure the continued preservation of the subject property.

The City of Los Angeles has determined based on the whole of the administrative record, that substantial evidence supports that the Project is exempt from CEQA pursuant to CEQA Guidelines Section Article 19, Section 15308, Class 8 and Class 31, and none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. The project was found to be exempt based on the following:

The use of Categorical Exemption Class 8 in connection with the proposed designation is consistent with the goals of maintaining, restoring, enhancing, and protecting the environment through the imposition of regulations designed to prevent the degradation of Historic-Cultural Monuments.

The use of Categorical Exemption Class 31 in connection with the proposed designation is consistent with the goals relating to the preservation, rehabilitation, restoration and

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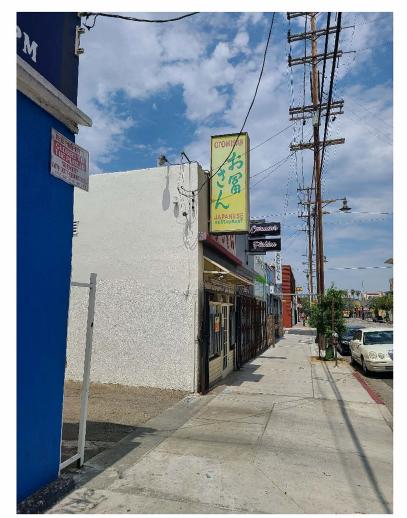
reconstruction of historic buildings and sites in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Categorical Exemption ENV-2020-6023-CE was prepared on July 12, 2021.

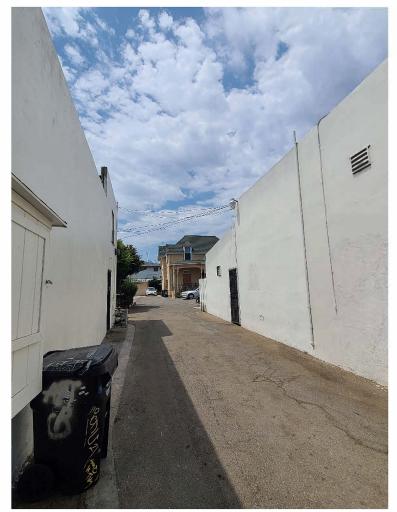
#### **BACKGROUND**

On October 8, 2020, the Director of Planning determined that the application for the proposed designation of the subject property as Historic-Cultural Monument was complete. On November 5, 2020, the Cultural Heritage Commission voted to take the property under consideration. In accordance with Los Angeles Administrative Code Section 22.171.10, on December 9, 2020, the owner requested up to a 60-day extension to the time for the Commission to act. On July 8, 2021, a subcommittee of the Commission consisting of Commissioners Barron and Milofsky conducted a site inspection of the property, accompanied by staff from the Office of Historic Resources.

The original expiration date of March 20, 2021, is tolled, and a revised date will be determined pursuant to the Mayor's March 21, 2020, Public Order Under City of Los Angeles Emergency Authority re: Tolling of Deadlines Prescribed in the Municipal Code and April 17, 2020, Public Order Under City of Los Angeles Emergency Authority re: Tolling HCIDLA Deadlines and Revising Expiration of Emergency Orders. The time to act on this item has been tolled for the duration of the local emergency period. Please note that other State law provisions may also apply.













Commission/ Staff Site Inspection Photos--July 8, 2021 Page 3 of 6

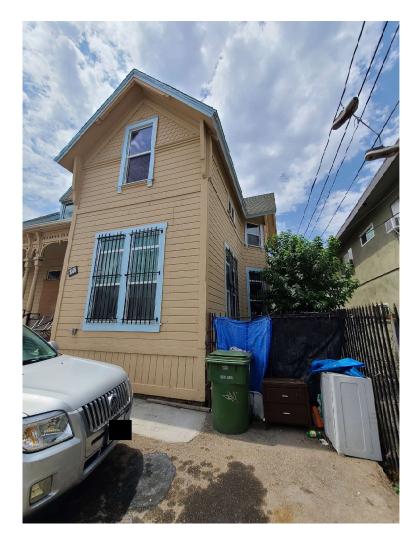








Commission/ Staff Site Inspection Photos--July 8, 2021 Page 5 of 6



COUNTY CLERK'S USE

#### **CITY OF LOS ANGELES**

OFFICE OF THE CITY CLERK 200 NORTH SPRING STREET, ROOM 395 LOS ANGELES, CALIFORNIA 90012

**CALIFORNIA ENVIRONMENTAL QUALITY ACT** 

# NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project.

| Failure to  | ofile this notice as provide  | ed above, results in the statute of limita   | tions being extended  | to 180 days.   |
|---|---|--|---|--|
|   | CASE NUMBER(S) / RE0<br>20-6022-HCM   | QUESTED ENTITLEMENTS   |   |  |
|   | TY AGENCY  Los Angeles (Depar   | rtment of City Planning)   |   | CASE NUMBER<br>ENV-2020-6023-CE  |
| PROJEC<br>Nishiyar  |   | n Japanese Restaurant  |   | COUNCIL DISTRICT   |
|   | •   | dress and Cross Streets and/or Attach Los Angeles, CA 90033  | ied Map)  | ☐ Map attached.  |
|   | T DESCRIPTION:  | LOS Aligeies, OA 30003   |   | ☐ Additional page(s) attached.   |
|   |   | Residence/Otomisan Japanese Re   | staurant as an Hist   |  |
| NAME O<br><b>N/A</b>  | F APPLICANT / OWNER:  |  |   |  |
|   | CT PERSON (If different from a <b>Jones</b>   | om Applicant/Owner above)  | (AREA CODE) TEL<br>213-847-3679   | LEPHONE NUMBER   EXT.  |
| EXEMP   | T STATUS: (Check all bo:  | xes, and include all exemptions, that a  | pply and provide rele   | evant citations.)  |
|   |   | STATE CEQA STATUTE &   | GUIDELINES  |  |
|   | STATUTORY EXEMPTION   | ON(S)  |   |  |
|   | Public Resources Code S   | Section(s)   |   |  |
| $\boxtimes$   | CATEGORICAL EXEMPT  | TION(S) (State CEQA Guidelines Se  | :c. 15301-15333 / Cla   | ass 1-Class 33)  |
|   | CEQA Guideline Section(   | (s) / Class(es) <u>8 and 31</u>  |   |  |
|   | OTHER BASIS FOR EXE   | EMPTION (E.g., CEQA Guidelines Sec   | ction 15061(b)(3) or (l   | b)(4) or Section 15378(b))   |
| Article 19<br>as author<br>the regul<br>rehabilita<br>Standard<br>Historic-0<br>Secretary | rized by state or local ordir<br>latory process involves pro<br>ation, restoration, preserva<br>ds for the Treatment of His<br>Cultural Monument will ass<br>y of Interior's Standards to | of the State's Guidelines applies to who nance, to assure the maintenance, rest occdures for protection of the environation, or reconstruction of historical restoric Buildings." Designation of the Nissure the protection of the environment or maintain and preserve the historic site. | toration, enhancemen ment." Class 31 applications in a manner of shiyama Residence/t by the enactment of e. | ☐ Additional page(s) attached of "actions taken by regulatory agencies, nt, or protection of the environment where ies "to maintenance, repair, stabilization, consistent with the Secretary of Interior's /Otomisan Japanese Restaurant as an f project review regulations based on the |
| ☐ The p<br>IF FILED<br>THE DE   | project is identified in one of<br>DBY APPLICANT, ATTAC<br>PARTMENT HAS FOUND   |  | y of Los Angeles CEC<br>BY THE CITY PLANN   | (s) apply to the Project.  QA Guidelines as cited in the justification.  NING DEPARTMENT STATING THAT  |
| CITY ST   | ΓAFF USE ONLY:  |  |   |  |
| CITY STA<br>Melissa   | AFF NAME AND SIGNAT   | URE<br>[SIGNED COPY IN FII   |   | TAFF TITLE ity Planning Associate  |
|   | EMENTS APPROVED   | [GIGINED GOI 1 IIV1 II   | )   | ny i ian'imig / tooochate  |
| FEE:<br>N/A   |   |  | REC'D. BY (DCP DSC<br>N/A   | C STAFF NAME)  |

DISTRIBUTION: County Clerk, Agency Record

Rev. 3-27-2019

# Los Angeles Department of City Planning RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION CASE NO.: CHC-2020-6022-HCM

ENV-2020-6023-CE

**HEARING DATE:** November 5, 2020

**TIME:** 10:00 AM

Orders

**PLACE**: Teleconference (see

agenda for login Area

information)

**EXPIRATION DATE:** The original 30-day expiration date of November 7, 2020 per Los Angeles Administrative Code Section 22.171.10(e)1 is tolled, and a revised date will be determined pursuant to the Mayor's March 21, 2020 Public Order Under City of Los Angeles Emergency Authority re: Tolling of Deadlines Prescribed in the Municipal Code and April 17. 2020 Public Order Under City of Los Angeles Emergency Authority re: Tolling HCIDLA Deadlines and Revising Expiration of Emergency Location: 2504-2508 East 1st Street

Council District: 14 – de León Community Plan Area: Boyle Heights

And Discourse Operations Total Land

Area Planning Commission: East Los Angeles

Neighborhood Council: Boyle Heights

Legal Description: Kittredge's Subdivision of a Portion

of Lot 5 Block 73 Hancocks Survey

Tract, Lot 2

**PROJECT:** Historic-Cultural Monument Application for the

NISHIYAMA RESIDENCE/OTOMISAN JAPANESE RESTAURANT

**REQUEST:** Declare the property an Historic-Cultural Monument

OWNERS: Leo Hayashi Et al., Trustees Leo Hayashi

Hayashi Trust and Lea M. Hayashi 2620 Pennsylvania Avenue 2625 East 1<sup>st</sup> Street Los Angeles, CA 90033

2625 East 1<sup>st</sup> Street Los Angeles, CA 90033

Leo Hayashi Et al., Trustees Hayashi Trust and Lea M. Hayashi

901 Wandering Drive Monterey Park, CA 90754

APPLICANTS: M. Rosalind Sagara Vivian Escalante

Los Angeles Conservancy Boyle Heights Community Partners

523 West 6<sup>th</sup> Street, Suite 826 Los Angeles, CA 90014 603 North Breed Street Los Angeles, CA 90033

**PREPARERS:** M. Rosalind Sagara

Los Angeles Conservancy 523 West 6<sup>th</sup> Street, Suite 826 Los Angeles, CA 90014

Andrea Griego

**Boyle Heights Community Partners** 

1730 Kathleen Court West Covina, CA 91792

### **RECOMMENDATION** That the Cultural Heritage Commission:

- Take the property under consideration as an Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.10 because the application and accompanying photo documentation suggest the submittal warrants further investigation.
- 2. Adopt the report findings.

VINCENT P. BERTONI, AICP Director of Planning

# [SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Principal City Planner Office of Historic Resources

#### [SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Preservation Architect Office of Historic Resources

#### [SIGNED ORIGINAL IN FILE]

Shannon Ryan, Senior City Planner Office of Historic Resources

#### [SIGNED ORIGINAL IN FILE]

Melissa Jones, City Planning Associate
Office of Historic Resources

Attachment: Historic-Cultural Monument Application

CHC-2020-6022-HCM 2504-2508 East 1<sup>st</sup> Street Page 3 of 5

#### **SUMMARY**

The Nishiyama Residence/Otomisan Japanese Restaurant is a one-story commercial building with a one and one-half-story single-family residence at the rear located on East 1<sup>st</sup> Street between South Mathews Street and South Fickett Street in the Boyle Heights neighborhood of Los Angeles. Constructed in 1890, the residence was designed in the Queen Anne architectural style. In 1925, thenowner Ryohei Nishiyama moved the residence to the rear of the lot and constructed the vernacular-style commercial building facing East 1<sup>st</sup> Street. Originally a Japanese grocery store, the commercial building was converted to a food establishment in the 1950s, and in 1956, Otemo Sushi Café (now called Otomisan Japanese Restaurant) opened in the easternmost storefront of the building. Still operating today, Otomisan Japanese Restaurant is the last remaining Japanese restaurant in the neighborhood and believed to be one of the oldest continuously-operating Japanese restaurants in Los Angeles.

Boyle Heights is among the oldest communities in Los Angeles and was developed as one of the city's first residential suburbs. Up until the late nineteenth century, when William Henry Workman developed the Boyle Heights subdivision and the completion of the transcontinental rail line to Southern California spurred a real estate boom, the area retained a pastoral character and remained almost entirely undeveloped. In addition to platting a system of streets and parcels for Boyle Heights, Workman constructed a horse-drawn streetcar line that crossed the Los Angeles River at Aliso Street and ran down Pleasant Avenue and First Street to connect the area to the city's core. Over the years, interurban transportation accelerated the pace of development in the region and ultimately transformed the sparsely-populated area into a more urbanized streetcar suburb. Between 1880 and 1900, Boyle Heights' population had increased from 300 or 400 families to 10,670 people; the population continued to steadily increase until the 1920s, at which point Boyle Heights had largely been built out. This rapid residential growth was accompanied by the development of various commercial and institutional uses to serve the day-to-day needs of the area's growing population. Conforming to a pattern typical of streetcar suburbs, commercial development mostly occurred along what were then the community's two principal streetcar routes, First Street and Brooklyn Avenue (now E. Cesar E. Chavez Avenue).

In the first decade of the 20<sup>th</sup> century, Los Angeles was home to the largest *Issei*, or Japanese immigrant, population of any city in California. For this community, districts along E. First Street and W. Sixth Street in Downtown served as the primary residential and commercial neighborhoods, in addition to providing transitional services for new immigrants. Alongside the employment agencies for new arrivals, the neighborhoods contained a number of Japanese rooming houses for single male laborers, a few single-family residences rented out to Japanese families, and a growing number of commercial stores, service establishments, and social/cultural centers that served *Issei* communities throughout Southern California. By 1906, the E. First Street area became known as Little Tokyo and had a high concentration of Japanese businesses and residences east of Alameda Street. However, between 1910 and 1915, the Japanese community began to expand into small enclaves outside of Downtown Los Angeles, including Boyle Heights. The more suburban environment and absence of restrictive covenants made Boyle Heights desirable for many Japanese families looking to purchase homes. Along with several important religious and cultural institutions, commercial establishments, specifically restaurants, anchored the Japanese community in Boyle Heights for years to come.

The 1890 single-family residence is located to the south (rear) of the lot and faces E. 1<sup>st</sup> Street. Irregular in plan, the residence is of wood-frame construction with wooden clapboard siding and has an intersecting gable and hipped roof with composition shingles. The primary, north-facing elevation is asymmetrically composed and features a raised and recessed front porch. The main entrance is accessed from the porch and is obscured by a metal security door. A secondary entry is accessed from a short staircase with a railing on the east-facing elevation. Fenestration includes transom windows,

bay windows, and double-hung windows, many with wood surrounds. Ornamental elements include spandrels, spindle work, turned wood posts, sunrise motifs, and fish scale cladding on the gable ends.

The 1925 commercial building is located to the north of the lot and fronts E. 1<sup>st</sup> Street. Rectangular in plan, the building is of wood-frame construction with stucco and wood siding and has a flat roof. The primary, north-facing elevation has three storefronts, each with a primary entrance consisting of wooden doors, transoms, and display windows. The easternmost storefront, Otomisan Restaurant, has a wood awning and exterior wood screens partially covering the storefront windows. Two projecting signs are located above the east and middle storefronts. The westernmost storefront has flush-mount signage. The interior of Otomisan Restaurant features red button tufted booths, built-in wood cabinets, laminate wood paneling, and counter seating.

Since the relocation of the residence to the rear of the parcel and the subsequent construction of the commercial building in 1925, the subject property has experienced several alterations. Alterations to the commercial building include the installation of wood flooring in 1927; the addition of interior partitions and the construction of a room to the rear of the building in 1929; the construction of a private storage room in 1937; the removal of interior partitions and addition of glass panels to the storefront in 1946; the addition of a wall to divide one store into two, the addition of a bathroom and window, and the application of stucco to the primary elevation in 1951; the construction of a storage room to the rear elevation in 1967; and the installation of a plexiglass sign for Otomisan Japanese Restaurant in 1979. Further, alterations to the single-family residence include the replacement of many of the windows, the installation of security bars over the windows and security doors, and an addition at the rear, all at unknown dates.

SurveyLA, the citywide historic resources survey, identified the subject property as individually eligible for listing under the local designation program as a long-term location of a business important to the commercial identity of Boyle Heights, noting that it is believed to be the last remaining Japanese restaurant in the area. In addition, the property was identified as significant in the SurveyLA Japanese-American historic context statement for the same reasons.

#### CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles if it meets at least one of the following criteria:

- 1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community:
- 2. Is associated with the lives of historic personages important to national, state, city, or local history; or
- 3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

#### **FINDINGS**

Based on the facts set forth in the summary and application, the Commission determines that the application is complete and that the property may be significant enough to warrant further investigation as a potential Historic-Cultural Monument.

CHC-2020-6022-HCM 2504-2508 East 1<sup>st</sup> Street Page 5 of 5

### **BACKGROUND**

On October 8, 2020, the Director of Planning determined that the application for the proposed designation of the subject property as Historic-Cultural Monument was complete. The original 30-day expiration date of November 7, 2020 per Los Angeles Administrative Code Section 22.171.10(e)1 is tolled, and a revised date will be determined pursuant to the Mayor's March 21, 2020 Public Order Under City of Los Angeles Emergency Authority re: Tolling of Deadlines Prescribed in the Municipal Code and April 17, 2020 Public Order Under City of Los Angeles Emergency Authority re: Tolling HCIDLA Deadlines and Revising Expiration of Emergency Orders.



# NOMINATION FORM

| Proposed Monument Name: Nishiyama Residence/Otomisan Japanese Restaurant |   |                           |            | Current name of property |        |                    |
|--|---|---------------------------|------------|--------------------------|--------|--------------------|
| Other Associated Names: Martha Sindell                                   | Residence, Otem                             | Sushi C                   | Cafe       |                          |        |                    |
| Street Address: 2504-2508 East First St                                  | treet                                       |                           | Zip: 90    | 033                      | Counci | District: 14       |
| Range of Addresses on Property: 2504, 25                                 | 06, 2506 1/2, 2508                          | 3                         | Commun     | nity Name: Bo            | yle    | Heights            |
| Assessor Parcel Number: 5180006002                                       | Tract: ************************************ | m of Lot 9 Brock 73 Hanco | ora Survey | Block:                   |        | Lot: 2             |
| dentification cont'd:  |   |                           |            |                          |        |                    |
| Proposed Monument Property Type:  Building                               | Structure                                   | Obje                      | ct         | Site/Open Sp             | pace   | Natural<br>Feature |
| Describe any additional resources located on the                         | property to be included in                  | the nominat               | tion, here |                          |        |                    |
| Residential building, commercial   | building, and proje                         | cting sig                 | n (Otor    | nisan Rest               | taura  | ant)               |

#### 2. CONSTRUCTION HISTORY & CURRENT STATUS

| Year built: 1890, 1925 • Factual Estimate      | Threatened? None  |  |
|--|---|--|
| Architect/Designer: unknown                    | Contractor: commercial bldg: J. Taniguchi               |  |
| Original Use: residence; commercial            | Present Use: residence; commercial                      |  |
| Is the Proposed Monument on its Original Site? | No (explain in section 7) Unknown (explain in section 7 |  |

# 3. STYLE & MATERIALS

| Architectural Style | Queen Anne                |       | Stories: 1.5             | Plan Shape: Irregular |  |
|---------------------|---------------------------|-------|--------------------------|-----------------------|--|
| FEATURE             | PRIMARY (regidence)       |       | SECONDARY (LOVEMENTAL    |                       |  |
| CONSTRUCTION        | Type: Wood                |       | Type: Wood               |                       |  |
| CLADDING            | Material: Wood clapboards |       | Material: Stucco, smooth |                       |  |
| ROOF                | Type: Gable, crossed      |       | Type: Select             |                       |  |
|                     | Material: Rolled asphalt  |       | Material: Select         |                       |  |
| WINDOWS             | Type: Double-hung         |       | Type: Fixed              |                       |  |
| WINTOONS            | Material: Wood            |       | Material: Select         |                       |  |
| ENTRY               | Style: Recessed           | Style | Off-center               |                       |  |
| DOOR                | Type: Paneled, glazed     | Туре  | Paneled, g               | plazed                |  |



# NOMINATION FORM

#### 4. ALTERATION HISTORY

|                    |  | najor alterations for which there are no permits, as well.   |
|--------------------|--|--|
|                    | See attachment.  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
|                    |  |  |
| XISTING            | HISTORIC RESOURCE IDENTIFICATION (if known)  |  |
| Lis                | ted in the National Register of Historic Places  |  |
| ✓ Lis              | ted in the California Register of Historical Resources   |  |
| ✓ Fo               | rmally determined eligible for the National and/or California Re   | gisters  |
|                    |  | Contributing feature   |
|                    | cated in an Historic Preservation Overlay Zone (HPOZ)  | The second of th |
| Lo                 |  | Non-contributing feature   |
| Lo                 | ,  | Non-contributing feature  Survey Name(s):  |
| , De               | termined eligible for national, state, or local landmark   | Survey Name(s):  |
| , De               |  | Survey Name(s):  |
| ✓ De str           | termined eligible for national, state, or local landmark   |  |
| ✓ De str           | termined eligible for national, state, or local landmark itus by an historic resources survey(s) cal or cultural resource designations:  | Survey Name(s):  |
| ✓ De str           | termined eligible for national, state, or local landmark itus by an historic resources survey(s)   | Survey Name(s):  |
| Other historic     | termined eligible for national, state, or local landmark itus by an historic resources survey(s) cal or cultural resource designations:  | Survey Name(s): SurveyLA, Adelante, MTA LA Eastside Corrido  |
| De str             | termined eligible for national, state, or local landmark itus by an historic resources survey(s) cal or cultural resource designations:  LE HISTORIC-CULTURAL MONUMENT CRITERIA d monument exemplifies the following Cultural Heritage Ordina  1. Is identified with important events of national, state, or | Survey Name(s):  SurveyLA, Adelante, MTA LA Eastside Corrido  ince Criteria (Section 22.171.7):  local history, or exemplifies significant contributions to the  |
| Debugger of Strand | termined eligible for national, state, or local landmark itus by an historic resources survey(s) cal or cultural resource designations:  LE HISTORIC-CULTURAL MONUMENT CRITERIA d monument exemplifies the following Cultural Heritage Ordina  | Survey Name(s):  SurveyLA, Adelante, MTA LA Eastside Corrido  ince Criteria (Section 22.171.7):  local history, or exemplifies significant contributions to the  |
| Debugger of Strand | termined eligible for national, state, or local landmark itus by an historic resources survey(s) cal or cultural resource designations:  LE HISTORIC-CULTURAL MONUMENT CRITERIA d monument exemplifies the following Cultural Heritage Ordina  1. Is identified with important events of national, state, or | Survey Name(s):  SurveyLA, Adelante, MTA LA Eastside Corrido  ince Criteria (Section 22.171.7):  local history, or exemplifies significant contributions to the state, city or community.  |

# HISTORIC-CULTURAL MONUMENT



# NOMINATION FORM

#### 7. WRITTEN STATEMENTS

This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.

- A. Proposed Monument Description Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any characterdefining elements, structures, interior spaces, or landscape features.
- B. Statement of Significance Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

#### 8. CONTACT INFORMATION

#### Applicant

| Name: M. Rosalind Sagara              |                          | Company: Los Angeles Conserva | Company: Los Angeles Conservancy |  |  |
|---------------------------------------|--------------------------|-------------------------------|----------------------------------|--|--|
| Street Address:                       | 523 W. 6th St., Ste. 826 | City: Los Angeles State:      |                                  |  |  |
| Zip: 90014 Phone Number: 213-430-4211 |                          | 1 Email: rsagara@laco         | nservancy.org                    |  |  |

| Name: Leo Hayashi Street Address: 2620 Pennsylvania Avenue |                            | ner in support of the nomination? | Yes No Unknown |  |  |  |
|--|----------------------------|-----------------------------------|----------------|--|--|--|
|  |                            | Company:                          |                |  |  |  |
|  |                            | City: Los Angeles                 | State: CA      |  |  |  |
| Zip: 90033   | Phone Number: 323-264-4490 | Email:                            |                |  |  |  |

# Nomination Preparer/Applicant's Representative

| Name: M. Rosalind Sagara Street Address: 523 W. 6th St, Ste. 826 |                           | Company: Los Angeles Conservancy |                  |  |
|--|---------------------------|----------------------------------|------------------|--|
|  |                           | City: Los Angeles                | State: CA        |  |
| Zip: 90014   | Phone Number: 213-430-421 | Email: rsagara@la                | aconservancy.org |  |



# NOMINATION FORM

#### 9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

#### APPLICATION CHECKLIST

- 1. Nomination Form
- Written Statements A and B
- Bibliography

in this application.

- Two Primary Photos of Exterior/Main Facade (8x10, the main photo of the proposed monument. Also email a digitial copy of the main photo to: planning.ohr@lacity.org)
- 5. Copies of Primary/Secondary Documentation
- Copies of Building Permits for Major Alterations (include first construction permits)
- 7. 

  Additional, Contemporary Photos
- 8. / Historical Photos
- Zimas Parcel Report for all Nominated Parcels (including map)

#### 10. RELEASE

|          | e read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the ded space. Either the applicant or preparer may sign.   |
|----------|---|
| <b>/</b> | I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying.                                     |
| /        | I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation. |
| ,        | I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained   |

| 26 May.2020 | ()W~       |
|-------------|------------|
| Date:       | Signature: |
| 5-26-20     | All As     |
|             | Date:      |

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources Department of City Planning 221 N. Figueroa St., Ste. 1350 Los Angeles, CA 90012

Phone: 213-874-3679 Website: preservation.lacity.org

# **Contact information (continued)**

# **Co-Applicant:**

Name: Vivian Escalante

Company: Boyle Heights Community Partners

Street Address: 603 N. Breed St.

City: Los Angeles

State: CA Zip: 90033

Phone number: 323-482-6222

Email: 411@boyleheightscommunitypartners.com

# **Nomination Co-Preparer:**

Name: Andrea Griego

Company: Boyle Heights Community Partners

Street Address: 1730 Kathleen Court

City: West Covina

State: CA Zip: 91792

Phone number: 626-733-2273 Email: andreagriego@yahoo.com

#### 7b. STATEMENT OF SIGNIFICANCE

#### A. PROPOSED MONUMENT DESCRIPTION

#### **Property Description**

The Nishiyama Residence/Otomisan Japanese Restaurant is located on East First Street between Mathews and Fickett Streets in the Boyle Heights neighborhood of Los Angeles. The property includes a single-story commercial building fronting East First Street, followed by a small surface parking lot, and a one and one-half story Queen Anne style residence located at the rear. The buildings retain sufficient integrity to convey the property's significance.

#### Residence - Exterior (2508 East First Street)

The primary (north) elevation of the one and one-half story Queen Anne style residence faces East First Street. Situated approximately three feet above grade, the wood-framed residence has an irregular plan and is clad in clapboard except for the gable ends, which feature fish scale and sunrise motifs. The building has an intersecting gable and hipped roof sheathed in shingles. The front porch is raised and recessed. The porch is obscured by a plastic tarp; however, based on what is visible, a spandrel, spindle work, and turned wood posts are present. The fenestration is asymmetrical with windows of various sizes and heights present, including tall, one-over-one double hung sash windows in paired and single placement. All of the visible windows are non-original with original wood surrounds. The entrance is accessed from the raised porch. A rectangular transom window is located above the entrance. The door finish is obscured by a non-original metal security door.

The fenestration on the secondary (east and west) elevations of the building is irregular. Six windows with wood surrounds of various sizes and heights are present on the east elevation; two on the first story and four on the second story. The southeast window on the first story has metal security bars. One window opening to the northeast is boarded up. All but one window on the east elevation is non-original. The only original window on the second-story has metal security bars. The second-story window on the northeast is a dormer window with a sunrise motif at the gable end. There is a slight jog at the center of the east elevation. A non-original window with wood surrounds and metal security bars is present at the east elevation of the rear portion of the building. A secondary entry is accessed from a short staircase and single-sided railing. The door finish at the east elevation of the rear addition is obscured by a non-original metal security door.

The west elevation features a two-story bay window coordinating with the gable roof. A total of nine windows with wood surrounds of various sizes and heights are present. Five windows are located at the first story and four at the second story. The window that is on the rear portion of the building on the first story is boarded up. With the exception of this window, all windows on the first story have non-original metal security bars.

The rear (south) elevation is one and two-stories high. Two small single-story wood additions are located at the southwestern and southeastern sections of the rear elevation. The fenestration is irregularly arranged. There is one non-original window and a secondary entry at the southeastern addition. Three windows with wood surrounds of various sizes and heights are present at the

second-story. The dormer window at the center of the second-story has non-original metal security bars.

Access to the residence was not granted by the owner. The description was developed from current photographs. Due to the location of the building near the rear (south) property line, only northwestern and northeastern views of the rear elevation were possible. The interior cannot be described beyond the changes indicated by the permits.

### Commercial building - Exterior (2504-2506½ East First Street)

The single-story building was built in 1925 in a vernacular style on a block of mostly low-rise commercial and residential buildings. The building has a rectangular plan and is clad in stucco with lateral wood siding. The building has three storefronts. The storefront entrances feature wooden doors, transoms, and display windows. Two projecting signs are located above the easternmost and middle storefronts. The westernmost storefront features signage that is flushmount. A flat roof covers the building.

The primary (north) elevation faces First Street. The building is three bays wide with three partially-glazed wood framed entrances with transoms that lead to each individual business. Each business has a retractable security gate. Otomisan Restaurant, the easternmost storefront, features two picture windows with a single light above on both sides of its entrance. Otomisan has a wood awning and its storefront windows are partially covered with exterior wooden screens. The middle storefront, Koinonia Café, features one large picture window to the east of its entrance. Both Otomisan Restaurant and Koinonia Café have projecting illuminated signage. Signage above the Debt Defenders business is modern and flush-mount.

At the secondary (east and west) and rear (south) elevations the building is stucco. Over the years, there have been a number of additions at the rear (south) elevation that abut the original building. The roof at the additions are downward sloping and covered with asphalt shingles. Two visible doors and a non-original window with security gates are present at the rear facade of the addition. At the rear addition directly behind Otomisan Restaurant, the roof is slightly higher than the adjacent addition. This portion is enclosed by a six-foot wooden fence.

# Otomisan Japanese Restaurant – Interior (2506 ½ East First Street)

Three red button tufted booths are located along the western wall and a short counter with five stools face the eastern wall. Built-in wood cabinets are present along the eastern wall. A doorway at the south wall leads to the kitchen and a bathroom. The ceiling and walls are finished in smooth plaster. Laminate wood paneling is present on the lower portion of the walls and the base of the restaurant counter.

# **Character-Defining Features**

# Two-story residence - Exterior (2508 East First Street)

- Intersecting gable and hipped roof
- Wood clapboard siding
- Dormer windows
- Fish scale and sunrise motifs at gable ends
- Two-story bay window coordinating with gable roof
- Recessed entrance
- Front porch supported by wood colonettes

# Single-story commercial building - Exterior (2504-2506½ East First Street)

- Wood screens at storefront windows of Otomisan Restaurant
- Projecting plexiglass signage for Otomisan Japanese Restaurant
- Three individual entrances at lot line
- Street-facing storefront windows

# **ALTERATION HISTORY**

| 12/08/1924 | Construct one-story one-room commercial building.  |
|------------|--|
| 02/03/1925 | Move two-story residence to rear of parcel.  |
| 04/15/1925 | Add stores and install two toilets to commercial building.   |
| 02/19/1927 | Change flooring in commercial building from cement to wood.  |
| 04/27/1929 | Add interior partitions to commercial building.  |
| 05/31/1929 | Add room to rear of commercial building.   |
| 11/19/1937 | Add private storage room to commercial building.   |
| 03/06/1946 | Remove interior partitions in commercial building; change steel folding gates to glass swinging doors; add glass panels to storefront.                               |
| 04/20/1951 | Add wall to convert one store into two for a total of three businesses within the commercial building. Bathroom and window in bathroom added to commercial building. |
| 06/04/1951 | Add stucco to front and one end of commercial building.  |
| 05/15/1967 | Add storage room to the southeast (rear) elevation of commercial building.   |
| 04/04/1979 | Install a 3/8 double-faced plexiglass projecting sign for Otomisan Japanese Restaurant.  |
| 08/26/1985 | Re-roof commercial building with rigid built-up Class B material   |

The subject property at 2504-2508 East First Street consists of a one and one-half story Queen Anne style residence and a one-story vernacular commercial building. The property is significant for its association with early Japanese American settlement patterns in Boyle Heights and for its association with commercial development along the East First Street streetcar line in the 1920s.

In 1925, Ryohei Nishiyama moved the residence to the rear of the lot and constructed a one-story commercial building facing East First Street. By doing so, he created economic mobility for Japanese and Japanese Americans in Los Angeles during a time when their opportunities were restricted due to land ownership, housing, and job discrimination.

The subject property narrates the story of Japanese American entrepreneurship before and after World War II in Boyle Heights. The commercial building originally housed a Japanese-operated grocery store, and later included a Japanese-operated florist shop and barber shop. In the 1950s, the grocery store was converted to a food establishment. In 1956, Otemo Sushi Café (now called Otomisan Japanese Restaurant) opened in the easternmost storefront of the commercial building. Today, it is the last remaining Japanese restaurant in the neighborhood and believed to be one of the oldest continuously-operating Japanese restaurants in Los Angeles. The buildings and signage at 2504-2508 East First Street represent multiple layers of historical and cultural significance, including early residential development in Boyle Heights, streetcar commercial development, and Japanese American commercial development in Boyle Heights.

The subject property meets Criterion 1 for designation as a Los Angeles Historic-Cultural Monument:

It is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community.

The subject property also meets Criterion 3:

It embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style or method of construction.

The subject property meets the registration requirements outlined for:

- SurveyLA's Citywide Historic Context Statement: Residential Development and Suburbanization, 1880-1980: Early Residential Development, 1880-1930
- SurveyLA's *Citywide Historic Context Statement: Commercial Development, 1859-1980:* Commercial Identity, 1850-1980 and Neighborhood Commercial Development, 1880-1980 (Subtheme: Streetcar Commercial Development, 1880-1934 and Subtheme: Restaurants, 1880-1980)
- SurveyLA's Citywide Historic Context Statement: Japanese Americans in Los Angeles, 1869-1970: Property Types Associated with Business and Commerce

5

# **Japanese American Development in Los Angeles**

In 1910, Los Angeles was home to the largest *Issei* population in the United States. <sup>1</sup>

The city's expansion in the late nineteenth and early twentieth centuries, combined with its fertile rural environs, made the city attractive to a diverse range of immigrants. The San Francisco earthquake also played a pivotal role in Los Angeles' ultimate dominance over northern California as home to the state's Japanese population. On the other hand, isolationist political leanings, immigration laws, and restrictive residential policies aimed at Asians challenged Los Angeles' *Issei*.<sup>2</sup>

The West Sixth Street and East First Street neighborhoods served as the primary residential and commercial neighborhoods for Japanese immigrants in Los Angeles in the early 1900s. The population around West Sixth Street developed due to the presence of several boarding houses that catered to Japanese immigrants as well as employment agencies that brokered Japanese immigrants as day laborers. By 1906, the East First Street area became known as Little Tokyo and had a high concentration of Japanese businesses and residences east of Alameda Street.<sup>5</sup> European American owners leased space to Japanese residential and commercial tenants. Extant examples include 606 East First Street (1913; architects Morgan & Walls) and 620 East First Street (1911; architect J.E. Lacey). Both buildings had retail operations on the first floor and furnished rooms on the second floor that catered to the Japanese American community. <sup>7</sup> Some of the Japanese-operated businesses in Little Tokyo included pool halls, restaurants, bookstores, and barbershops. According to SurveyLA, the first known sushi bar was opened by Gentario Isoygaya on Weller Street. Many of the early buildings that housed Japanese-operated businesses in Little Tokyo were lost due to urban renewal projects in later decades. However, a portion of the neighborhood, the Little Tokyo Historic District, roughly bounded by 301-349 East First Street, 110-120 Judge John Aiso Street, and 119 Central Avenue, was preserved and designated a National Historic Landmark in 1995.

From 1908 to 1920, 20,000 Japanese "picture brides" traveled to Hawai'i and to the continental U.S. to join their spouses. <sup>10</sup> With the influx of women and new marriages, there was an increase

<sup>&</sup>lt;sup>1</sup> SurveyLA, Japanese Americans in Los Angeles, 1869-1970, 11. The term Issei refers to the first-generation of Japanese immigrants to North America.

<sup>&</sup>lt;sup>2</sup> Ibid., 12.

<sup>&</sup>lt;sup>3</sup> Ibid., 18.

<sup>&</sup>lt;sup>4</sup> Ibid., 17.

<sup>&</sup>lt;sup>5</sup> Ibid.

<sup>&</sup>lt;sup>6</sup> Ibid., 21

<sup>&</sup>lt;sup>7</sup> Ibid.

<sup>&</sup>lt;sup>8</sup> Ibid.

<sup>&</sup>lt;sup>9</sup> Ibid.

<sup>&</sup>lt;sup>10</sup> Erika Lee, *The Making of Asian America: A History* (New York: Simon & Schuster, 2015), 113. The term "picture bride" was used to describe an arranged marriage made by parents or matchmakers based on photographs.

in Japanese American children and families in Los Angeles. This impacted settlement patterns of Japanese Americans in Los Angeles and ushered in a period of community stabilization. Despite restrictive immigration and land ownership laws as well as discriminatory housing practices across the city, the Japanese community in Los Angeles flourished during the years before World War II. <sup>11</sup>

In 1915, Los Angeles' first Japanese American nurse, Mary Akita, opened her small home at Turner and Alameda streets, just east of Little Tokyo, as a maternity hospital for *Issei* women. <sup>12</sup> According to the Historic-Cultural Monument nomination for the Japanese Hospital, "By the 1910s, the increase in the birth rate within the Japanese community, along with the deleterious effects of the 1918 Influenza pandemic signified the need for more substantive medical care since mainstream health care facilities often discriminated against ethnic minorities." <sup>13</sup> In the years following the pandemic, Japanese medical professionals began to think about how they could establish a facility that would better address the needs of the community. <sup>14</sup>

The pioneering *Issei* generation recognized early on that they had to rely on their own efforts to meet the social, cultural, and educational needs of the community. Japanese formed *kenjinkai* (prefectural associations) and various merchant groups. <sup>15</sup> In 1905, the Los Angeles Japanese Association was established to further the rights and privileges of Japanese residing in the city. After several moves, the organization settled at an office at 117 N. San Pedro Street (not extant). The Association was membership-based and included 2,500 Japanese-born members. In addition to the Japanese Association, there were organizations of all the trades in which Japanese worked. The creation of these organizations reflected the need of community members to work together for protections and to promote common interests.

After World War I, anti-Japanese sentiment and policies in the U.S. intensified. The California Alien Land Law of 1913 (also known as the Webb-Haney Act) prohibited "aliens ineligible for citizenship" from owning agricultural land or possessing leases longer than three years. This law affected Chinese, Indian, Japanese, and Korean immigrant farmers in California. By 1920, lawmakers placed more limits to the Alien Land Law, prohibiting Japanese nationals from leasing land, barred corporations in which Japanese held a majority stock from purchasing land, and guardians or agents of ineligible aliens were required to submit an annual report on their activities. Further restrictions included the Cable Act of 1922, and the Immigration Act of 1924. The Cable Act decreed anyone marrying an alien ineligible for citizenship would lose their

<sup>&</sup>lt;sup>11</sup> SurveyLA, Japanese Americans in Los Angeles, 38.

<sup>&</sup>lt;sup>12</sup> Cecilia Rasmussen, "Hospital a Pillar to Japanese Americans," Los Angeles Times, 1 February 1998.

<sup>&</sup>lt;sup>13</sup> Los Angeles Historic-Cultural Monument nomination, Japanese Hospital, 8.

<sup>&</sup>lt;sup>14</sup> Ibid., 11.

<sup>&</sup>lt;sup>15</sup> Ichiro Mike Murase, *Little Tokyo: One Hundred Years in Pictures* (Los Angeles: Visual Communications, 1983); *Kenjinkai* were based on common prefectural origin and functioned as employment agencies, social welfare providers, and mutual aid groups. They also fostered a system of collective savings accounts from which withdrawals could be made for individual and group expenditures. The groups are also remembered for their lavish annual picnics and New Year celebrations. By 1924, the number of *kenjinkai* grew to more than two dozen organizations.

citizenship. <sup>16</sup> The Immigration Act of 1924 (also known as the Johnson-Reid Act) was aimed at curtailing emigration of Jews, Italians, Slavs, and Greeks, and it targeted Japanese whose entry was previously regulated through non-legislative means including the Gentlemen's Agreement. <sup>17</sup>

### **Japanese Americans in Boyle Heights**

In the early 20th century, the population of Boyle Heights began diversifying as large numbers of Eastern European Jews, Russians, Mexicans, Japanese, and African Americans moved into the area. Historian Wendy Elliott-Scheinberg writes, "A review of federal census records for 1880 through 1920 and school yearbooks for 1923-1939, provides an overview of this ethnically mixed community, showing conclusively that every block, street, and school contained a culturally diverse blend." <sup>18</sup>

Japanese families began settling in Boyle Heights in the 1920s. They found the neighborhood to be welcoming to working class immigrants and free of discriminatory *de facto* and *de jure* housing practices prevalent in other neighborhoods of Los Angeles. In addition to access to housing, proximity to Little Tokyo, and the development of religious and cultural institutions were important factors driving Japanese settlement in Boyle Heights.

In 1927, Koyoshi Uono mapped the presence of Japanese Americans in Los Angeles, including in the Evergreen District, an area in Boyle Heights roughly bounded by Lanfanco Street to the south, Brooklyn Avenue (now East Cesar E. Chavez Avenue) to the north, Chicago Street to the west, and Lorena Street to the east. Uono found 350 residences occupied by Japanese families in the Evergreen District in 1927. He further estimated that 1400 Japanese residents lived in the district, making it one of the largest concentrations of Japanese in Los Angeles at the time. George Kikuta, born in Boyle Heights in 1942, recalls that many Japanese Americans lived on East First Street, along the streetcar route. Uono's study and city directories confirm a Japanese presence on the north and south side of East First Street between Mathews and Mott Streets as early as the 1920s. Extant examples of the homes where Japanese American families resided include the subject property at 2508 East First Street (1890), 2612 East First Street (1897), 2620 East First Street (1905), and 2630 East First Street (1895). In addition to East First Street, Japanese lived near Savannah and East Second Street and in other areas in Boyle Heights.

<sup>&</sup>lt;sup>16</sup> SurveyLA, Japanese Americans in Los Angeles, 37.

<sup>&</sup>lt;sup>17</sup> Ibid.

<sup>&</sup>lt;sup>18</sup> Ibid., 54.

<sup>&</sup>lt;sup>19</sup> Koyoshi Uono, "The Factors Affecting the Geographical Aggregation and Dispersion of the Japanese Residences in the City of Los Angeles: a Thesis Presented to the Department of Sociology, University of Southern California," June 1929, 133.

<sup>&</sup>lt;sup>20</sup> Ibid.

<sup>&</sup>lt;sup>21</sup> Richard Potashin, "George Kikuta Interview," transcript of an oral history conducted 2008 by Richard Potashin, Manzanar National Historic Site Collection, Densho Digital Archive, http://ddr.densho.org/ddr-manz-1-40/, 2008, p 4, July 18, 2008.

<sup>&</sup>lt;sup>22</sup> 1927 City of Los Angeles Directory and zimas.lacity.org

<sup>&</sup>lt;sup>23</sup> Gretchen Tuthill, "A Study of the Japanese in the City of Los Angeles: a Thesis Presented to the Department of Sociology, University of Southern California," June 1924, 27. Uono, 132.

According to Uono, the first Japanese pioneer of Evergreen District was Reverend Junjyo Izumida. <sup>24</sup> In 1911, Izumida's Rafu Bukkyokai (Los Angeles Buddhist Mission) bought two lots at 209 South Savannah Street and built a large three-story wooden temple, which was later used as a hall for a city playground. <sup>25</sup> In 1921, the temple was renamed Higashi Honganji (East Honganji). <sup>26</sup> In 1926, the congregation moved to 118 North Mott Street where they built a second temple building and remained for the next fifty years. <sup>27</sup>

The idea of creating a much-needed health facility for the Japanese community came into fruition in Boyle Heights in 1926. Doctor Kikuwo Tashiro and a group of Japanese doctors (Daishiro Luroiwa, Fusataro Nayaka, Toru Ozasa, and Matsuta Takahashi) combined their savings to lease a property at East First and Fickett Streets to build the Japanese Hospital (HCM No. 1131). Despite the rejection of their application to incorporate the hospital, the Japanese doctors prevailed in the Supreme Court of California, and held a groundbreaking ceremony on June 19, 1929. Architect Yos Hirose, whose life and work were rooted in Boyle Heights and Little Tokyo, was selected as the architect for the project. <sup>29</sup>

As documented in SurveyLA's *Japanese Americans in Los Angeles*, significant religious institutions continued to be developed in the late 1920s and 1930s. In addition to meeting the spiritual needs of the community, Japanese temples and churches were community anchors, providing education, social services, and fellowship for members of the community. Extant examples include Tenrikyo Junior Church of America at 2727 East First Street (1937-1939; architect Yos Hirose), Konko Church at 2924 East First Street (1937-1938; architect Yos Hirose), and the Japanese Baptist Church at 2923 East Second Street (1926-1929, extant/altered), built by the Los Angeles City Baptist Missionary Society.<sup>30</sup>

Schools and cultural institutions played an important role in the lives of Japanese Americans in Boyle Heights before and after World War II. The Rafu Chuo Gakuen Japanese Language School at 204 North Saratoga Street (1938; architect Yos Hirose) is a rare remaining example of an institutional building associated with Japanese Americans still in operation. When it opened, Rafu Chuo Gakuen was one of over 200 Japanese schools in Southern California, and considered one of the most prestigious. <sup>31</sup> Japanese American students like Bruce Kaji, who grew up in Boyle Heights in the 1930s, walked over to Rafu Chuo Gakuen after school to attend one hour of

<sup>&</sup>lt;sup>24</sup> Reverend Izumida established the first Buddhist temple in Los Angeles in 1904 at 229 ½ East Fourth Street (not extant).

<sup>&</sup>lt;sup>25</sup> Uono 87

<sup>&</sup>lt;sup>26</sup> Higashi Honganji, "Centennial History," accessed February 25, 2020, http://hhbt-la.org/?page\_id=1110.

<sup>&</sup>lt;sup>27</sup> Ibid. In 1976, a new building was constructed at its present day location on Third Street and Central Avenue.

<sup>&</sup>lt;sup>28</sup> Because their articles of incorporation were rejected by the California Secretary of State Frank C. Jordan, Dr. Tashiro and the other doctors enlisted legal services to fight their case. On May 21, 1927, the California State Supreme Court ruled in favor of the doctors.

<sup>&</sup>lt;sup>29</sup> According to the Historic-Cultural Monument application for the Japanese Hospital, Hirose designed Tenrikyo Junior Church of America at 2727 East First Street, two blocks from the Japanese Hospital and where he lived on 2607 Gleason Avenue.

<sup>&</sup>lt;sup>30</sup> SurveyLA, *Japanese Americans in Los Angeles*, 38.

Mike Sonksen, "Japanese Boyle Heights in the 21st Century," Los Angeles Times, 8 August 2014.

Japanese language instruction.<sup>32</sup> Kaji remembers, "In the evenings, they had activities. I recall either Wednesday or Thursday, one day was *judo* and the other day was *kendo*, and Fridays was Boy Scout [sic]. So they got me involved in *kendo*...The same applied to the other boys in the area. They went to *kendo* or *judo*."<sup>33</sup>

The Japanese Young Women's Christian Association arranged cooking, sewing, and millinery classes at the Magnolia House at 2616 East Third Street, which opened in 1922 as a boarding house for girls of European and Japanese descent. Through its programs and services directed at immigrant women and children, the International Institute of Los Angeles at 435 South Boyle Avenue (1931; architects Webber & Spaulding) had a mission to promote better understanding between citizens and new immigrants. For many of its early years, Japanese women and children were the Institute's largest client base. During World War II, the Institute protested the unfair treatment and incarceration of Japanese and Japanese Americans. After the war, the Institute and others assisted in the resettlement of Japanese immigrants and Japanese Americans. The Institute continued to support Japanese cultural activities and opened its doors to Japanese American clubs and social gatherings into the 1960s and 1970s. 36

# **East First Streetcar Commercial Development**

By the late 1800s, continued residential and commercial growth in Boyle Heights was spurred by advances in inter-urban transportation, which transformed the sparsely-populated area into a more urbanized streetcar suburb.<sup>37</sup>

In 1889, the horse-drawn streetcar line that served Boyle Heights was replaced by a cable rail line that was operated by the Los Angeles Cable Railway and ran down First Street; the cable car line, in turn, was replaced by a more modern and efficient electric streetcar line in the 1890s. An additional electric streetcar line was constructed on Brooklyn Avenue in 1899 to accommodate an increase in ridership, and by the early twentieth century streetcars traversed almost every major thoroughfare in the area. 38

From 1900 to 1930, Los Angeles had one of the most extensive streetcar networks of any city in the county. <sup>39</sup> Los Angeles was served by the Los Angeles Railway and the Pacific Electric

Martha Nakagawa, "Bruce T. Kaji Interview I," transcript of an oral history conducted 2010 by Martha Nakagawa, Densho Visual History Collection, Densho Digital Archive, http://ddr.densho.org/media/ddr-densho-1000/ddr-densho-1000-289-transcript-76f2303633.htm, p 5, July 28, 2010.

33 Ibid.

According to SurveyLA, the Queen Anne style residence was built for Los Angeles City Councilman E.L.
 Blanchard and is also a significant example of an intact late nineteenth century residence in Boyle Heights.
 The National Register Forsythe Memorial School for Girls at 506 North Evergreen Avenue, originally a boarding school for girls, was reopened as the Evergreen Hostel in 1945 to provide short-term accommodations to Japanese Americans who returned to Boyle Heights after incarceration.

<sup>&</sup>lt;sup>36</sup> SurveyLA, Japanese Americans in Los Angeles, 72.

<sup>&</sup>lt;sup>37</sup> SurveyLA. *Boyle Heights Community Plan Area*, 11.

<sup>&</sup>lt;sup>38</sup> Ibid.

 $<sup>^{39}</sup>$ Survey<br/>LA,  $Commercial\ Development,\ 1859-1980,\ 19.$ 

Railway Company. The Los Angeles Railway trolleys were known as "yellow cars" and carried more riders than the Pacific Electric's "red cars." According to SurveyLA, "There are relatively few intact examples of streetcar-oriented neighborhood commercial architecture left, particularly in concentrations dense enough to qualify as districts."

Boyle Heights had matured into a bustling streetcar suburb by the 1920s, with the majority of commercial development located along the neighborhood's two principal streetcar routes, East First Street and Brooklyn Avenue (now East Cesar E. Chavez Avenue Boulevard). In 1920, the Los Angeles Railway's Pico Heights Line was through-routed with the East First Street branch of the Boyle Heights and West 7<sup>th</sup> Street Line and renamed the West Pico and East First Street Line, or more popularly known as the "P" Line. The rail service continued through 1963.

According to Uono, of ninety randomly selected business owners in Little Tokyo, at least half lived in Boyle Heights. <sup>44</sup> But there were also Japanese-operated businesses in Boyle Heights. In 1927, Boyle Heights had at least four Japanese-operated grocery stores (including the subject property at 2506 East First Street), a fish market, and a barbershop. <sup>45</sup> These businesses were concentrated on the south side of East First Street east of Breed Street and west of Evergreen Avenue, along the P-Line, and catered primarily to local Japanese residents.

Japanese-operated grocery stores and restaurants in Los Angeles were largely located on streetcar routes. <sup>46</sup> In 1927, there were 237 Japanese-operated grocery/fruit stands and 250 hotels/rooming houses in Los Angeles. <sup>47</sup> While the number of hotels/rooming house operators increased steadily from 1917 to 1927, the increase in Japanese-operated grocery/fruit stands increased threefold in the same period. According to Uono, this was due to grocery/fruit stand operators having access to quality produce. He added anecdotally that Jewish and white grocers did not allow the customers to select the vegetables, whereas Japanese grocers did. <sup>48</sup>

By 1937, there were more than thirty Japanese-operated businesses along East First Street, roughly between Mariachi Plaza and Evergreen Cemetery. <sup>49</sup> They included grocery stores, restaurants, fish markets, florist shops, liquor stores, retail stores, a tofu manufacturer, and a tea shop. These businesses served local Japanese residents.

The building located at 2504-2506½ East First Street is a rare example of 1920s streetcar commercial development along East First Street in Boyle Heights. Built by Ryohei Nishiyama, the single-story commercial building originally housed a Japanese-operated grocery store, and

<sup>&</sup>lt;sup>40</sup> Ibid.

<sup>&</sup>lt;sup>41</sup> SurveyLA, *Boyle Heights Community Plan Area*, 11-12.

<sup>&</sup>lt;sup>42</sup> The Electric Railway Historical Association of Southern California, "West Pico and East First Street," accessed March 20, 2020, http://www.erha.org/lary\_p.htm

<sup>&</sup>lt;sup>43</sup> Ibid.

<sup>&</sup>lt;sup>44</sup> Uono, 50.

<sup>&</sup>lt;sup>45</sup> Ibid., 133.

<sup>&</sup>lt;sup>46</sup> Ibid., 55.

<sup>&</sup>lt;sup>47</sup> Ibid., 54.

<sup>&</sup>lt;sup>48</sup> Uono, 60.

<sup>&</sup>lt;sup>49</sup> Rafu Shimpo's Yearbook and Directory, 1937-1938 (Los Angeles: L.A. Japanese Daily News, 1938).

later included a Japanese-operated florist shop and barber shop. In the 1950s, the grocery store was converted to a food establishment and initially housed a confectionary and later a Japanese restaurant.

Vernacular in style, the building was constructed of wood and flush with the sidewalk, with a small parking lot at the rear. Since its construction, 2504-2506½ East First Street has been in use as a commercial property and helps narrate the story of the neighborhood's development as a streetcar suburb and Japanese Americans in Boyle Heights.

## Historical Background on the Nishiyama Family and the Development of 2504-2508 East First Street

Ryohei Nishiyama was born in Shizuoka, Japan in 1887.<sup>50</sup> He immigrated to the U.S. in 1906.<sup>51</sup> In 1914, he married Koto Ishikawa who would join him in America later that year. The couple had three sons: Miki born in 1915, Hideki born in 1919, and Takeo born in 1924.

Nishiyama is believed to have worked as a farm laborer in eastern Los Angeles County in his early years in the U.S.<sup>52</sup> By the 1920s, he became involved in various business ventures in Little Tokyo. From 1921 to 1923, he operated a grocery store at 208 North Alameda Street (not extant).<sup>53</sup> A year later he went into business with K. Kai, renting furnished rooms at 128 East First Street (not extant), where he and his family also took residence.<sup>54</sup> During this time, he also operated a confectionery store at 129 East First Street (not extant).<sup>55</sup>

A 1924 building permit is the earliest known record identifying Ryohei Nishiyama as the owner of the one and one-half story Queen Anne style residence at 2508 East First Street. The residence is believed to have been built for Mrs. Anna E. Littleboy, at the height of Boyle Heights' early period of development. <sup>56</sup> According to a Sanborn Fire Insurance map, there were nine homes on

<sup>&</sup>lt;sup>50</sup> The National Archives at Washington, D.C.; Washington, D.C.; Passenger Lists of Vessels Arriving at San Pedro/Wilmington/Los Angeles, California; NAI Number: 4486355; Record Group Title: Records of the Immigration and Naturalization Service, 1787-2004; Record Group Number: 85.

<sup>&</sup>lt;sup>51</sup> The National Archives at Washington, D.C.; Washington, D.C.; Passenger Lists of Vessels Arriving at San Francisco, California; NAI Number: 4498993; Record Group Title: Records of the Immigration and Naturalization Service, 1787-2004; Record Group Number: 85. Over 30,000 Japanese came to the U.S. in 1907, making them the largest number ever to immigrate to the U.S. in a single year. The following year, the Gentlemen's Agreement was negotiated and the Meiji government agreed not to allow any more laborers to emigrate to the U.S. See Ichiro Mike Murase, *Little Tokyo: One Hundred Years in Pictures*, 7-8.

<sup>&</sup>lt;sup>52</sup> Year: 1930; Census Place: Los Angeles, Los Angeles, California; Page: 22A; Enumeration District: 0728; FHL microfilm: 2339899; Ancestry.com.

<sup>&</sup>lt;sup>53</sup> 1921-1923 City of Los Angeles Directories.

<sup>&</sup>lt;sup>54</sup> 1924 City of Los Angeles Directory.

<sup>55</sup> Ibid

<sup>&</sup>lt;sup>56</sup> Anna (Sindell) Littleboy was a pioneer drug store owner and widow of deceased Union Army officer William Littleboy. The 1891 Los Angeles City Directory listed Anna Littleboy's residence as 2508 East First Street and the 1900 U.S. Federal Census confirmed her as the owner of the property. In 2001, an Intensive Survey for the Los Angeles County Metropolitan Transit Authority (MTA) Los Angeles Eastside Corridor generated a DPR form for the residence, recording Martha Sindell as the first documented occupant of the residence in 1897. Research for this Historic-Cultural Monument application found Martha Sindell to be Anna Littleboy's mother. The earliest document identifying the subject property as their shared place of residence was the 1891 Los Angeles City Directory.

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East First Street between Mathews and Fickett Streets in 1894.<sup>57</sup> By 1906, all but one of sixteen parcels between Mathews and Fickett Streets on East First Street had been developed.<sup>58</sup>

Nishiyama was one of at least four property owners along East First Street between Mathews and Fickett who added a commercial component to their property in the 1920s. <sup>59</sup> In 1924, J. Taniguchi was contracted to build a one-story commercial building in front of the Nishiyama residence. Within a few months, the residence, which had originally fronted East First Street, was moved to the rear (south) property line. Nishiyama continued to develop his property in the next few years. By 1927, he added a three-unit Spanish Colonial Revival-style bungalow court near the eastern property line.

The first documented tenant to occupy the commercial building with the new address of 2506 East First Street is believed to have been Masao Sato. Beginning in 1926 through 1929, the Sato family operated a grocery store from this location. In 1929, partitions were added to the interior of the one room commercial building, providing space for an additional tenant at 2504 East First Street, barber Tanezo Masunaga. In the same year, Masunaga added a small sleeping room behind his barbershop. Through the early 1950s, the commercial building housed a neighborhood grocery store and barbershop.

In 1939, Mr. and Mrs. T. Aoki ran an advertisement in the *Rafu Shimpo* urging readers, "Don't Be Handicapped. The mastering of practical Japanese language and etiquette is a necessity in social life and business." The Aokis offered night classes twice a week for \$2.00 monthly fee at Yoshin Gakuen at 2508 East First Street, the Nishiyama family's 1890 residence. Indeed, the historical record suggests the subject property functioned primarily as an income property for the Nishiyama family. Years earlier in 1935, in an annual report filed by Ryohei Nishiyama on behalf of his son Miki Nishiyama in accordance with the California Alien Land Law of 1920, the document affirms associated buildings on the Nishiyama property generated income: 2504, 2506, 2508, 2512, 2512 ½, and 2514 East First Street.

The bombing of Pearl Harbor on December 8, 1941 dramatically altered life for Japanese and Japanese Americans in Boyle Heights, including the Nishiyama family. By February 19, 1942, President Franklin D. Roosevelt signed Executive Order 9066, which forced Japanese and

<sup>&</sup>lt;sup>57</sup> Sanborn Fire Insurance Map of Los Angeles, 1894-1900, Vol. 2 (1894), Sheet 90b.

<sup>&</sup>lt;sup>58</sup> Sanborn Fire Insurance Map of Los Angeles, 1867-1970, Vol.4 (1906), Sheet 468.

<sup>&</sup>lt;sup>59</sup> See zimas.lacity.org

<sup>&</sup>lt;sup>60</sup> 1926 City of Los Angeles Directory and 1927 Kelts' Geographic Directory of Los Angeles.

<sup>&</sup>lt;sup>61</sup> According to city directories, Tanezo Masunaga operated his barbershop for at least twenty years at 2504 East First Street. His residence was one block away from his barbershop at 2514 Gleason Avenue.

<sup>&</sup>lt;sup>62</sup> Rafu Shimpo advertisement, 1 February 1939.

Los Angeles city directories and U.S. Census records list 128 East First Street as the family's place of residence between 1924 to 1930. Ten years later in 1940, Miki Nishiyama and his mother Koto resided at an apartment hotel at 443 Crocker Street in Los Angeles, where Koto worked as the manageress and Miki as a hotel worker. According to building permits and city directories, various members of the Nishiyama family list 2508, 2510½, 2512½, and 2514 East First Street as their place of residence at different times during the 1920s through the 1960s.

<sup>&</sup>lt;sup>64</sup> Ancestry.com. *California*, *Alien Land Ownership Records*, 1921-1952 [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2014.

Japanese Americans into temporary assembly centers before being transported to one of ten incarceration camps. City directories of 1941 and 1942 indicate that the grocery store owned by the Nishiyamas at 2506 East First Street was leased to Max Gordon, but it is not known if the family leased all of the buildings at the subject property through the duration of war.

The Nishiyama family was incarcerated at Gila River Concentration Camp in Arizona from July 1942 to October 1943. Following the loyalty questionnaire that was administered in 1943 to incarcerees, the Nishiyamas were sent to Tule Lake Concentration Camp in Siskiyou County in California with other incarcerees who were unjustly labeled as disloyal. Beginning in November 1945 through March 1946, the Nishiyamas were released from Tule Lake Concentration Camp. <sup>65</sup>

According to the Final Accountability Rosters of Evacuees at Relocation Centers, the Nishiyamas returned to Los Angeles following incarceration during World War II. In December 1946, the *Rafu Shimpo* reported that 25,000 Japanese and Japanese Americans resettled in Los Angeles to an acute housing shortage. <sup>66</sup> Some Japanese returned to find their properties vandalized or burned, while others who had sold their properties before the war had nothing to go back to. Hostels and other shelters were set up by local church and civic organizations to provide returnees a place to live as they began to rebuild their lives.

The Nishiyamas were fortunate to have retained the subject property during the war. In time, they continued to develop it in the 1940s and 1950s, creating a third storefront to the commercial building at 2504-2506½ East First Street, which housed Masunaga's barber shop, Kenzo "Kai" Akahoshi's Boyle Heights Florist, and Inaba Grocery. Interior renovations in the early 1950s converted the easternmost storefront to a food establishment, making way for a restaurant tenant. In 1950, the Nishiyamas built a second commercial building at 2512 East First Street. The building fronted East First Street and was located in front of their bungalow court, and directly east of 2504-2506½ East First Street.

Ryohei Nishiyama died in 1967 at the age of 80. This was the last year sons Miki and Takeo Nishiyama respectively listed their address as 2508 and 2508½ East First Street. In 2000, eldest son Miki Nishiyama died and was laid to rest in Evergreen Cemetery in Boyle Heights. Shortly thereafter, the Nishiyama Family sold the subject property to the Seino Family, the owners and operators of Otomisan Japanese Restaurant. In 2006, Leo Hayashi, owner of longtime Hayashi Realty in Boyle Heights, purchased the subject property from Tomi Seino.

#### Otemo Sushi Cafe/Otomisan Japanese Restaurant

<sup>&</sup>lt;sup>65</sup> According to Final Accountability Rosters of Evacuees at Relocation Centers, eldest son Miki Nishiyama was separated from his wife Tomie and 2½ year old daughter Masako and sent to Fort Lincoln Detention Center in Bismarck, North Dakota in February 1945. 650 Japanese Americans arrived at Fort Lincoln Detention Center from a Department of Justice camp in New Mexico and from Tule Lake. They had renounced their U.S. citizenship in protest to the incarceration of Japanese and Japanese Americans during World War II. At the time of this writing, it is not known when Miki Nishiyama was released. Ryohei Nishiyama was released from Tule Lake Concentration camp in November 1945. Koto Nishiyama was released in January 1946. Tomie and Masako Nishiyama were released in March 1946. Ancestry.com. *U.S.*, *Final Accountability Rosters of Evacuees at Relocation Centers*, 1942-1946 [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2013.

<sup>&</sup>lt;sup>66</sup> Scott Tsuchiya, "25,000 Resettled in L.A.," Rafu Shimpo, 21 December 1946.

<sup>&</sup>lt;sup>67</sup> See zimas.lacity.org.

Otemo Sushi Cafe (now Otomisan Japanese Restaurant) opened at 2506 ½ East First Street in 1956. The restaurant has had three owners: the Seto Family (1956 to early 1970s), the Seino Family (early 1970s to 2005), and Yayoi Watanabe (2005 to present).

Otemo Sushi Cafe/Otomisan Restaurant is part of a larger history of Japanese Americans and commercial development in Boyle Heights and Los Angeles. Restaurants were the main business of Japanese immigrants who first settled in Los Angeles before 1900, creating what has been called "the restaurant era" of the Los Angeles Japanese. <sup>69</sup> The first restaurant to serve Japanese-style cooking (name unknown) was opened in 1896 on New High Street in present-day Chinatown. In the same year, restaurant operator Tsuruhei Yamashita rented a residential house at 227 Boyd Street (not extant), where his employees also lodged. The building is believed to be the first Japanese residence in Los Angeles and an indicator that his restaurant business was successful. <sup>70</sup> Fifty-two restaurants operated by Japanese made 13% of the total income generated by Japanese businesses in 1917. Other than farming, Japanese-operated restaurants generated more income than any other Japanese-operated business that year. By 1927, there were 146 Japanese-operated restaurants in Los Angeles. <sup>71</sup>

Otemo Sushi Cafe's original owners were Toshiro and Yetsuko Seto. Both were born in Northern California; Toshiro in San Francisco in 1915 and Yetsuko in Ukiah in 1914. At the time of this writing, it is unknown why, or when the Setos arrived in Los Angeles. On November 7, 1959, Toshiro Seto's Otemo Sushi Cafe and Kenzo Akahoshi's neighboring business Boyle Heights Florist made the front page of the *Rafu Shimpo* when a P-car hit Seto and his passenger Hitsubun Morita, while Seto was turning into the restaurant's parking lot. The P-car sent Seto's vehicle into Akahoshi's Boyle Heights Florist, shattering its storefront window, but not Akahoshi's valuable showcase and other display items.

In the 1950s, Patsy Duncan, who grew up two blocks away from Otemo Sushi Cafe at 2520 East Third Street (1895), remembers her family used to walk to the restaurant to buy sushi as *omiyage* (gift) to bring to relatives in Riverside. During this time, the restaurant made hundreds of bento box lunches for *kenjinkai* (prefectural) meetings of local Japanese that were held on the weekends at local parks such as Griffith Park and Elysian Park. <sup>74</sup> "In the old days, it was pretty busy. So you'd see people sitting inside or standing outside waiting to get in," said Reverend Alfred Tsuyuki, a former patron. <sup>75</sup>

<sup>&</sup>lt;sup>68</sup> Hector Becerra, "Eastside Sushi? Sí," Los Angeles Times, 25 August 2007.

<sup>&</sup>lt;sup>69</sup> 1897 City of Los Angeles Directory.

<sup>&</sup>lt;sup>70</sup> Uono, 30. Prior to 1900, few Japanese immigrants could afford a home, but rather rented rooms in small Japanese-operated boarding houses, rooming houses run by whites, or lived in the back part of their shops. <sup>71</sup> Ibid.

<sup>&</sup>lt;sup>72</sup> City directories and business advertisements placed from 1959 to 1969 in *The Rafu Shimpo* confirm that the restaurant located at 2506 ½ East First Street was called Otemo Sushi Cafe, and not Otomi Cafe, as published erroneously in several contemporary newspaper articles and SurveyLA's *Japanese American Historic Context*.

<sup>&</sup>lt;sup>73</sup> "Tram strikes car rear to set off chain reaction," *Rafu Shimpo*, 7 November 1959.

<sup>&</sup>lt;sup>74</sup> Hector Becerra, "Eastside Sushi? Sí," *Los Angeles Times*, 25 August 2007.

<sup>75</sup> Ibid.

In the early 1970s, the Setos sold the business to Akira and Tomi Seino, who changed the name to Otomisan. The Seinos installed a double-faced projecting sign in front of the restaurant that read Otomisan Japanese Restaurant in 1979. The Seinos lived confirms that Tomi Seino was called "Tomi-san," or "Otomi-san" by all. The Seinos lived close to the restaurant at 2627 Gleason Avenue, near the corner of Mott Street and Gleason Avenue. In the 1970s, there were still several Japanese families who lived on Gleason Avenue, including the Akahoshis, who ran the Boyle Heights Florist, located in the storefront next to Otomisan, and the Masunagas, whose father (now deceased) had operated his barbershop at the westernmost storefront of the building. By the 1970s, the neighborhood's demographic was shifting. Many of the early immigrant groups of Boyle Heights, including Japanese, had moved to other areas in Los Angeles, and the neighborhood began to emerge as a predominantly Mexican American neighborhood.

According to customers, Akira Seino was the sole cook and Tomi Seino took care of everything else at Otomisan. <sup>80</sup> "[Tomi] greeted, served, set the tables, and cleaned up everything outside of the kitchen," recalled family friends. <sup>81</sup> Otomisan's menu comprised of traditional Japanese homestyle dishes, including *tonkatsu*, *oyakodon*, *sukiyaki*, *tempura*, *miso* soup, and noodles (*soba* and *somen*). They also made sushi, sashimi, and to-go *bento* boxes. The Seinos made small adjustments to reflect its broader customer base. <sup>82</sup> Family friends of the Seinos recall there was a bottle of Tapatio hot sauce on every table in the restaurant because many customers liked Japanese food to be spicy. <sup>83</sup>

In 2005, when Akira Seino passed away, Otomisan closed for six months. Yayoi Watanabe, a Boyle Heights resident and owner of a nearby dry cleaning business on 4th and Fresno streets, convinced Tomi Seino to sell the restaurant to her. Watanabe did not want Otomisan to suffer the same fate as Fuji Cafe, another longstanding Japanese restaurant in Boyle Heights that disappeared after one of its owners died.<sup>84</sup>

Otomisan remains largely unchanged since the days of Otemo Sushi Cafe, according to longtime residents. The cozy interior includes three red button tufted booths and a short counter with five stools. Built-in wood cabinets and the cash register could be found behind the counter. A doorway beyond the counter leads to a small kitchen.

Watanabe and cook Yukishige Hamada have kept Akira Seino's old recipes and his notes on customers' suggestions for ingredients, which continue a legacy of Japanese homestyle cooking in Boyle Heights. <sup>85</sup> In 2006, Councilmember Jose Huizar bestowed Otomisan with a certificate

<sup>&</sup>lt;sup>76</sup> Ibid; According to a July 1973 City of Los Angeles Directory, the restaurant still bore the name of Otemo Cafe.

<sup>&</sup>lt;sup>77</sup> Building permit for sign, April 1979. It is not known when the Seinos changed the restaurant's name to Otomisan.

<sup>&</sup>lt;sup>78</sup> Marlon Okazaki, email message to Andrea Griego and Rosalind Sagara, February 18, 2020.

<sup>&</sup>lt;sup>79</sup> Ibid.

<sup>&</sup>lt;sup>80</sup> Hector Becerra. "Eastside Sushi? Sí," Los Angeles Times, 25 August 2007.

Marlon Okazaki, email message to Andrea Griego and Rosalind Sagara, February 18, 2020.

<sup>82</sup> Ibid.

<sup>83</sup> Ibid.

<sup>&</sup>lt;sup>84</sup> Mike Sonksen, "Otomisan: The Last Japanese Restaurant in Boyle Heights," *KCET Departures*, July 31, 2012.

<sup>85</sup> Ibid.

17

of recognition, affirming the restaurant's longtime contribution and continued commitment to the economic vitality of the neighborhood.

The subject property at 2504-2508 East First Street is a rare and largely intact example of early residential and streetcar commercial development in the central portion of the Boyle Heights neighborhood in Los Angeles. The property also represents the entrepreneurial and enduring spirit of the Nishiyama Family. Their contributions and legacy were multiplied by the Japanese business owners that were associated with the subject property before and after World War II.

Between 1911 to 1924, anti-Japanese sentiment in Los Angeles was at its peak as evidenced by anti-Japanese resolutions passed by the California legislature, opposition to naturalization efforts by Japanese, and housing discrimination. Despite these challenges, beginning in the 1920s, Boyle Heights emerged as an important neighborhood for Japanese Angelenos because of its proximity to Little Tokyo, access to housing, and important institutions that were built by and for the community. In time, Japanese opened businesses in Boyle Heights, providing needed goods and services, while creating jobs and contributing to the local economy. This growth and prosperity were harshly interrupted by World War II and the incarceration of Japanese and Japanese Americans. Following the war, the Nishiyamas and others who had lived in Boyle Heights before the war returned to the neighborhood and slowly began to rebuild their lives in Los Angeles.

By the 1970s, the Japanese American commercial presence in Boyle Heights had dwindled. The population of Japanese American residents in Boyle Heights had also declined due in large part to the wartime incarceration of Japanese Americans, but also as Japanese Americans moved to other areas of Los Angeles and Southern California. The property at 2504-2508 East First Street has endured for over 100 years and remains a testament to the extraordinary and lasting impact everyday people and places have on multiple generations of Angelenos.

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Rafu Shimpo

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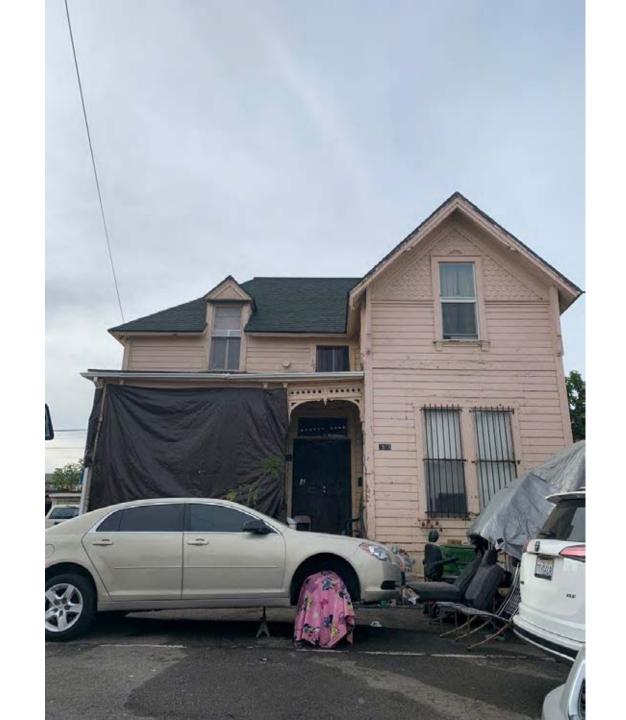
Tuthill, Gretchen. "A Study of the Japanese in the City of Los Angeles." Master's thesis, University of Southern California, 1924.

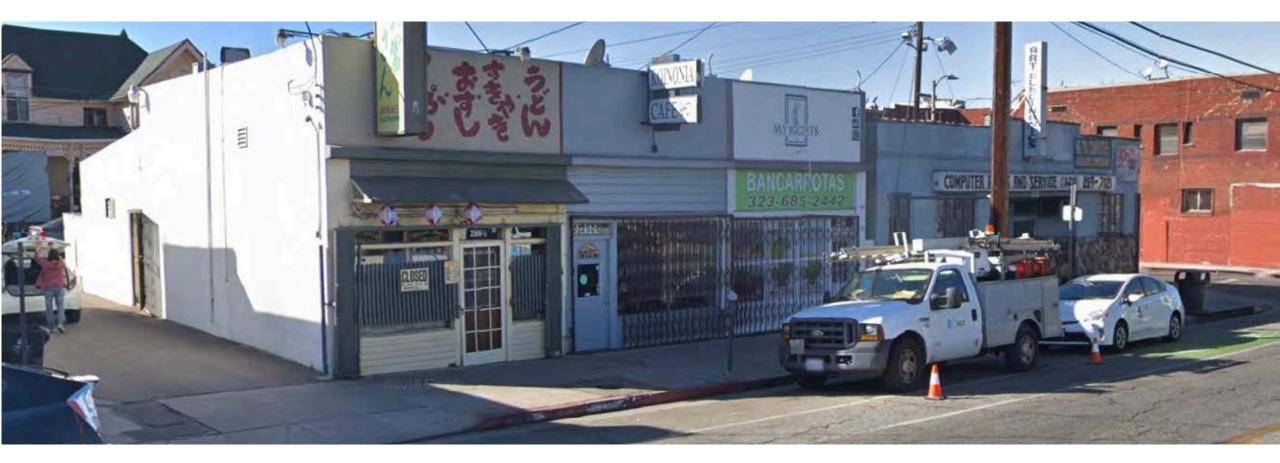
Uono, Koyoshi. "The Factors Affecting the Geographical Aggregation and Dispersion of the Japanese Residences in the City of Los Angeles." Master's thesis, University of Southern California, 1929.



Primary façade of 2508 East First Street (1890). Photo by M. Rosalind Sagara.

Primary façade, view facing south. Photo by M. Rosalind Sagara.



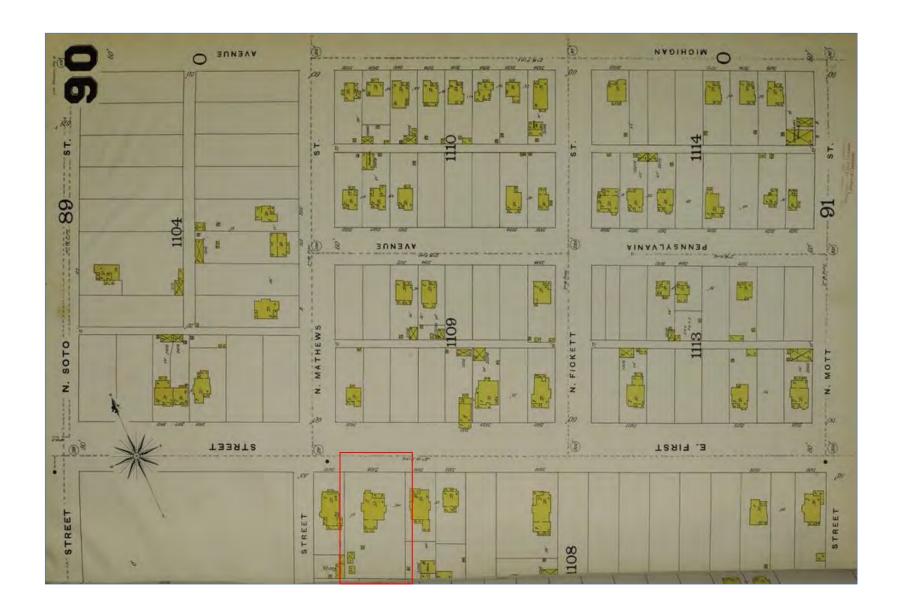


Primary façade of 2504-2506½ East First Street, view facing southwest. Photo by Vivian Escalante.

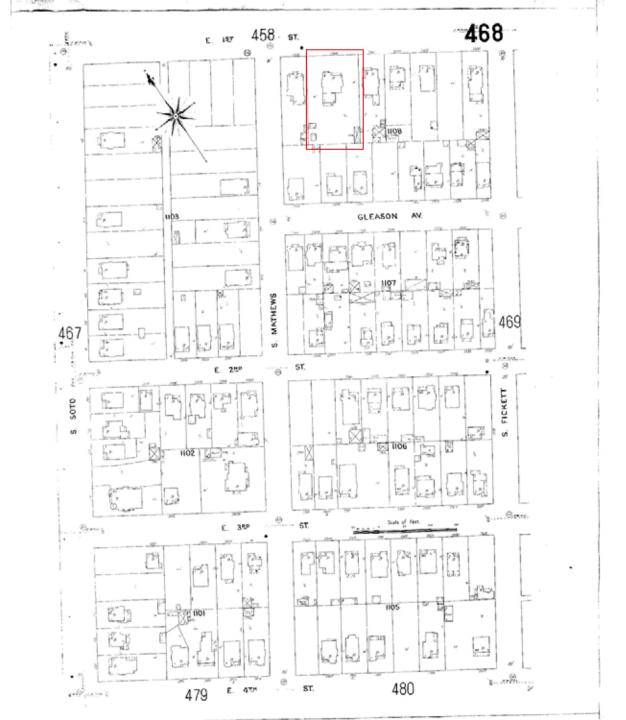
Primary entrance of Otomisan Japanese Restaurant, view facing southeast. Photo by Sue Hwang.



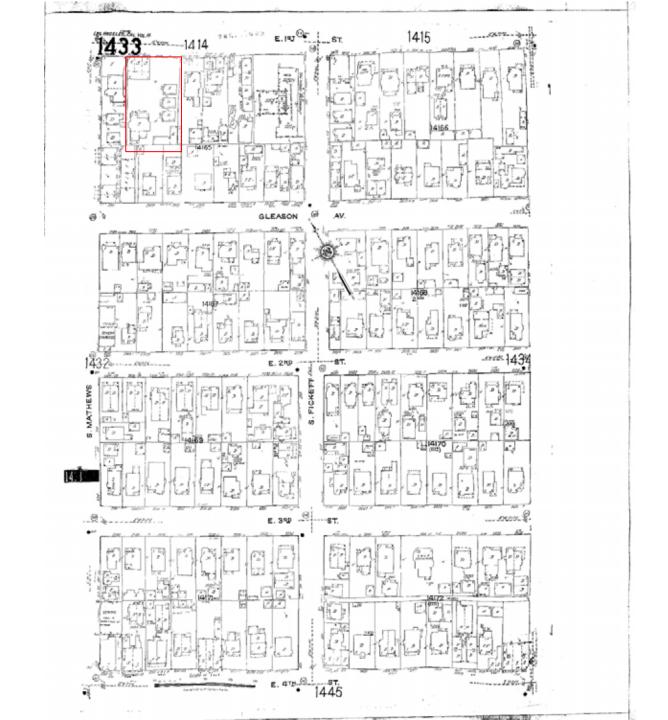
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1927 map of the Japanese community in the Evergreen District in Boyle Heights (Koyoshi Uono).

THE HOUSES OF THE EVERGREEN JAPANESE DISTRICT, L.A. February, 1927

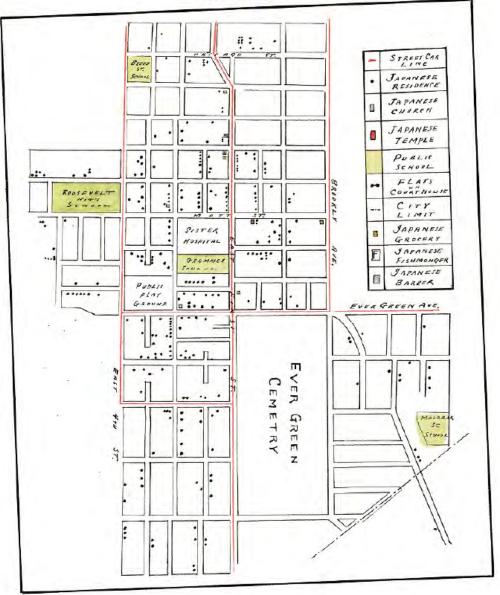
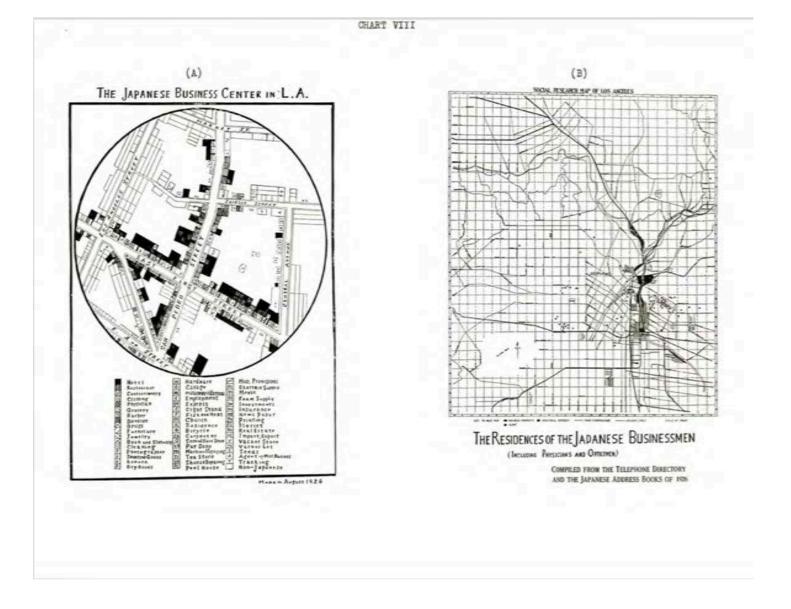


TABLE VIII
THE JAPANESE BUSINESS SHOPS IN THE CITY OF LOS ANGELES

| Business Shops            | 1905 | 1908 | 1917 | 1927 |
|---------------------------|------|------|------|------|
| Barber shops              | 18   | 52   | 92   | 103  |
| Restaurants (all kinds)   | 2    | 22   | 107  | 146  |
| Hotels and rooming houses | 18   | 73   | 193  | 250  |
| Laundry and cleaning      |      | 14   | 43   | 89   |
| Doctors (physicians)      | 3    | 4    | 13   | 27   |
| Lawyers and agents        | 2    | 7    | 16   | 29   |
| Dentists                  | 2    | 2    | 11   | 13   |
| Grocery and fruit stands  |      | 22   | 54   | 237  |
| Midwife                   |      | 3    | 18   | 19   |
| Florists                  |      |      | 15   | 63   |
| Bookstore                 | 5    | 5    | 4    | 5    |
| Printing houses           |      | 2    | 3    | 3    |
| Massago                   |      |      | 9    | 16   |
| Photographers             |      | 8    | 11   | 13   |
| Tailors                   |      | 14   | 32   | 32   |
| Druge                     | 1    | 3    | 8    | 13   |
| Massage                   |      |      | 9    | 14   |
| Carpenters and plumbers   |      |      | 11   | 14   |
| Candy stores              | -    | 9    | 19   | 15   |
| Billiarde                 | 13   | 33   | 24   | 20   |
| Expresses                 | -    | 10   | 36   | 10   |
| Movie theaters            |      |      | 2    | 1    |
| Sewing Machine shops      |      |      | 3    | 2    |
| Suployment agencies       | 10   | 29   | 9    | 9    |
| Wine traders              |      | 5    | 6    | -    |
| Total                     | 74   | 335  | 764  | 959  |

Uono's research on Japanese businesses in Los Angeles, p. 54 (Koyoshi Uono, 1926).

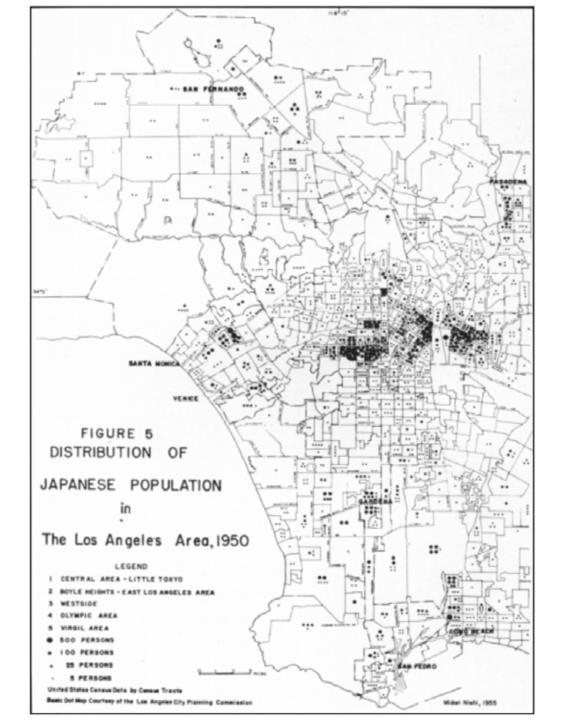


Uono's thesis maps showing residential patterns of Japanese businessmen in Los Angeles. (Koyoshi Uono, 1926).

Map showing Boyle Heights and other key Japanese American enclaves in 1940. Los Angeles City Planning Commission, 1943. (Special Collections, UCLA. <a href="http://oac.cdlib.org/ark:/13030/hb138nb0qm/?brand=oac4">hb138nb0qm/?brand=oac4</a>)

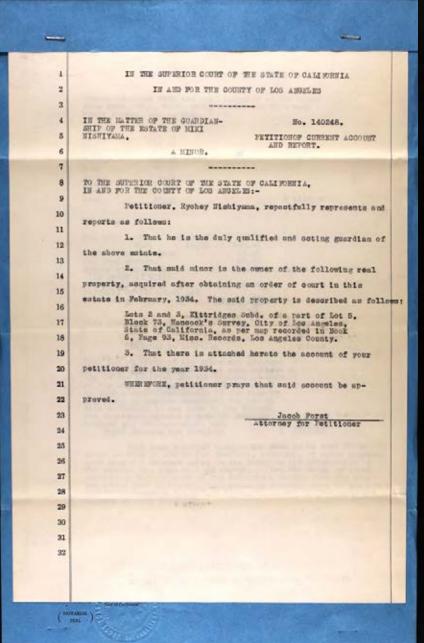


Map of the Japanese Population in the City of Los Angeles, 1950. Midori Nishi ("Japanese Settlement in the Los Angeles Area," Yearbook of the Association of Pacific Coast Geographers Vol. 20, 1958)



In the Matter of the Guardianship of the Estate of Miki Nishiyama.

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REPORT AND ACCOUNT FOR THE YEAR OF 1934. Income received from the real property of the minor from 2504, 2506, 2508, 2512, 2512, and 2514 East First Street, Los Angeles. April 122,00 119.00 May July. 122.00 96.00 129.00 Oct. 113,00 97.00 \$ 1137.00 Expenses -Tax bill - april - 8 98.00 Lighting Maintenance Repair of sidewalk (By order of City) Water Bill 25.84 Payments of principal and 821.38. interest on loan Cash advances to minor 350,00 1499.52 362.52 Balance to Cuardian That the property of the minor was acquired by cancelling a \$2500.00 trust deed belong-ing to the guardian and the payment of \$150.00 of the minor - that the guardian desires to make a memorandum charge of the same in the event it becomes necessary for him to take advantage of the same in the future. and therefore makes a charge of \$2500.00. without any delinquencies, etc. Total Balance due Guardian That your guardian alleges the fact to be that he desixes to make no charge for services, advances, or other charges; that should a belance exist in his favor at the termination of the estate, the same will be waived. That the order of court paraitting the purchase of the property provided that the note and trust deed of the guardian would be waived; that if the court wishes to disallow the sum of \$2500.00, it may be done with the congent of this guardian.

State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION

#### PRIMARY RECORD

Primary # HRI # Trinomial

nomial

**NRHP Status Code** 2S2, 5S3 Other Listings **Review Code** Reviewer Date Resource Name or #: (Assigned by recorder) 2504 E 1ST ST Page 1 of 3 P1. Other Identifier: ☐ Not for Publication ✓ Unrestricted P2. Location: a. County Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.) b. USGS 7.5' Quad ; R ; 1/4 of 1/4 of Sec B.M. c. Address: 2504 1ST ST City Los Angeles Zip 90033 d. UTM: (Give more than one for large and/or linear resources) Zone mE/ mΝ e. Other Locational Data (e.g. Parcel #, directions to resource, elevation, etc., as appropriate) Primary elevation oriented north, northeast onto 1st St. Parcel No. P3 Description: (Describe resources and its major elements. Include design, materials, condition, alterations, size, and boundaries) South Building: Two story; rectangular plan; Queen Anne single-family residence; hipped roof with a rear side-gable roof and dormers; wood clapboard siding; wood-frame roof; wood-frame structure; covered front porch supported by wood colonettes decorated with spindles and brackets; double-hung windows with single-light sashes. North Building: One-story; rectangular plan; 1940s commercial building; stucco exterior walls; multi-light door (alteration); storefront windows (alteration). P3b. Resource Attributes: (List attributes and codes) P4. Resources Present: ✓ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District Other (Isolates, etc.) P5b Description of Photo: (View, date, accession #) Norht Elevation, Lkg S, Sept 2007 P6. Date Constructed/Age and Sources: Prehistoric ✓ Historic 1886 c. P7. Owner Address: HAYASHI,LEO AND JUNE M TRS E 901 WANDERING DR MONTEREY PARK CA, CA 91754 P8. Recorded by: (Name, affiliation, and address) Jon Wilson PCR Services 233 Wilshire Boulevard, Suite 130 Santa Monica, CA 90401 P9. Date Recorded: 9/1/2007 P10. Survey Type: (Describe) Intensive Level Survey P11. Report Citation: (Cite survey report and other sources, or enter "none.") □ NONE ✓ Continuation Sheet District Record Rock Art Record Attachments: ✓ Building, Structure, and Object Record Location Map Linear Feature Record Artifact Record ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record Sketch Map Other: (List)

Primary # HRI #

#### **BUILDING, STRUCTURE, AND OBJECT RECORD**

| Page 2 of 3   |   |  |                                     | NRHP Status  | s Code:                                    | 2S2, 5S3   |
|---|---|--|-------------------------------------|--|--|--|
| -   | Resource Name or #  | (Assigned by r                                   | ecorder)                            | 2504 E 1ST ST  |  |  |
| B1. Historic Name                                   |   |  |                                     |  |  |  |
| B3. Original Use:                                   | Residential   | B4. Present L                                    | Jse: Co                             | mmercial and Resider   | ntial                                      |  |
| B5. Architectural                                   |   |  |                                     |  |  |  |
|   | History: (Construction date, alterations,   | and date of alt                                  | erations)                           |  |  |  |
| 1898: Residence                                     | constructed.  |  | ,                                   |  |  |  |
| 1940: Commercia                                     | al building constructed   |  |                                     |  |  |  |
|   |   |  |                                     |  |  |  |
|   |   |  |                                     |  |  |  |
| B7. Moved?  | ✓ No ☐ Yes ☐ Unknown Date:<br>ures:   |  | Original l                          | ocation:   |  |  |
| B9a. Architect: (                                   | Unknown   |  | B9b. Build                          | der: <i>Unknown</i>  |  |  |
| B10. Significance                                   | e: Theme: See Below   |  | Area                                |  |  |  |
| Period of Si  | gnificance: 1873-1912 Pi  | operty Type                                      | Commer                              | cial and Residential   | Applicable                                 | Criteria A, C  |
| (Discuss importar<br>1. Theme: Hou                  | nce in terms of historical or architectural cor<br>use and Yard   | ntext as defined                                 | d by theme                          | e, period, and geograp   | hic scope.                                 | Also address integrity.)   |
| Residences As                                       | ssociated with Railroad, Horsecar, and  | Cable Car Su                                     | uburbs, 1                           | 873-1912   |  |  |
| 2504 1st Street                                     | t is significant for its association with th  | ne earliest Ro                                   | yle Heiak                           | ats residential devel  | onmonts tl                                 | hat were triggered by the  |
| construction of                                     | t is significant for its association with the public railcars that connected Boyle Herens of Los Angeles. Also, it is one of  | leights to dow                                   | ntown. It                           | represents the imp   | act of trans                               |  |
| Ofton the early                                     | v suburbs were aided by a local or into   | rurban train li                                  | ing that a                          | annocted the subdiv  | vicion to th                               | o city contor Early  |
| residential deve<br>Heights to dow<br>Boyle Heights | y suburbs were aided by a local or inte<br>elopment in Boyle Heights was sparke<br>antown Los Angeles. Although the early<br>to downtown, it appears population gro<br>"which invested \$1,000,000 in 1889 fo | d by the horse I horsecar tha I how the and deve | ecar, cab<br>at ran alo<br>elopment | le car, and later the<br>ng 1st Street was th<br>in Boyle Heights wa | electric ca<br>ne first pub<br>as triggere | ar connecting Boyle<br>blic railcar to connect<br>ed by the "Los Angeles   |
| Streets in Boyle                                    |   |  |                                     | -  |  | -  |
|   |   |  |                                     |  |  |  |
|   | esource Attributes: (List attributes and coo  | des)   |                                     |  |  |  |
| B12. References                                     |   |  |                                     |  |  |  |
| LA City Building F                                  | Permits, Los Angeles Times, Sanborn Maps  | <b>;</b>   |                                     |  |  |  |
|   |   |  | 1                                   |  | N Solo St                                  | TIM  |
| B13. Remarks:                                       |   |  |                                     | N  | 1  |  |
| B14. Evaluator:                                     | Jon Wilson  | PCR Se   | ervices                             | 31   | // A.                                      | 75/1/1/  |
|   | 233 Wilshire Boulevard, Suite 130   |  |                                     | Pind St  | 1  | nhsyn  |
|   | Santa Monica, CA 90401  |  | _                                   | 331  | Elst S.                                    | nnsylvania Ave   |
| Date of Evaluation                                  | on:   | 9/1  | 1/2007                              | 5/12   | /  | THE WAY  |
|   | (This space reserved for official comments  | s.)  | 7                                   | 6/1/   | 11   | Sample of Street   |
|   |   |  | 9                                   | 75 15  | 1/2  | 1 55 G   |
|   |   |  | 5                                   |  | 75   | Work of the second of the seco |
|   |   |  |                                     | 7/1  | 1  | 5  |
|   |   |  | 4                                   | 11 75 11   | 1  | is the   |
|   |   |  | ?                                   | 55   | 15   | To men a   |

State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION

#### **CONTINUATION SHEET**

Primary # HRI # Trinomial

| Page 46 of 3 |            | Resource Name or # | (Assigned by recorder) | 2504 1ST S | Τ                    |        |
|--------------|------------|--------------------|------------------------|------------|----------------------|--------|
| Recorded by  | Jon Wilson |                    | Date                   | 9          | /1/2007 Continuation | Update |

#### **B10 Significance (Continued)**

Single-family residences constructed in Boyle Heights during the 1890s appear to be either Queen Anne or Eastlake style residences that tend to have a deep setback from the street. Many of the lots of the existing homes from the late 19th century with deep front setbacks were added onto with street-fronting commercial buildings, while the original residence rises from the rear of the lot. Turn of the century properties include American Foursquare and Craftsman residences. In addition, there were some small farms and dairies in the area located on the larger lots in the subdivisions.

2. Theme: Late 19th/Early 20th Century Residential Architecture, 1885-1910, Single Family Residences

Queen Anne Style

2504 1st Street is significant for its association with the architectural style and culture of late 19th/early 20th century residential architecture. It represents the influence of Victorian architecture on the architects, designers, and builders working in the survey area at the turn of the century. Furthermore, 2504 1st Street represents the identity and values of the occupants.

Queen Anne architecture was an architectural style initiated in England as a reaction against the balance, symmetry, and proportion of classical architecture. The Queen Anne style residence was imported to the United States from England during the late nineteenth century. The architecture of the Queen Anne style was defined by its asymmetrical facades adorned with architectural ornamentation and by its irregular plan. In addition the primary elevation of a Queen Anne usually had multiple gables, turrets, towers, and dormers of differing heights. The Queen Anne's were popular in the United States for their ability to be custom designed, allowing upper middle class and wealthy homeowners to have an original house that represented their identity publicly through architecture.

Although Queen Anne architecture was often a style associated with the upper middle- and wealthy-class, smaller more modest Queen Anne's were also constructed for the middle- and working class. The modest single-family Queen Anne cottage was a once ubiquitous housing style constructed throughout the United States from the 1880s through the first decade of the twentieth century. The Queen Anne cottages were smaller and less decorative than the custom Queen Anne residences of the upper middle and wealthy classes. The Queen Anne cottages were often built by real estate speculators in early Los Angeles residential subdivisions. The Queen Anne cottage is an important architectural style associated with working- and middle-class architectural culture in Los Angeles. Character-defining features of the Queen Anne style include one to two stories in height, asymmetrical primary elevation with a covered front porch, a front gable roof with multi-level eaves or hipped roof with a front gable over a rounded single-story bay on the primary elevation, a setback entrance under a covered porch supported with spindlework detailing, and tall narrow windows.

| State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION |                | Primary #<br>HRI # |       |  |  |  |
|---|----------------|--------------------|-------|--|--|--|
| PRIMARY RECORD  |                | Trinomial          | le 3S |  |  |  |
|   | Other Listings |                    |       |  |  |  |
|   | Review Code    | Reviewer           | Date  |  |  |  |

| Page | 1 of 2 *Resource Name or #: (Ass)                            | aned by      | recorde   | 1) 28      |            |            |       |     |
|------|--|--------------|-----------|------------|------------|------------|-------|-----|
| P1.  | Other Identifier:  | Marrie 20190 |           | 377        |            |            |       |     |
| *P2. | Location:   Not for Publication   Unrestricted   *           | a. Cou       | nty I     | los Ar     | ngeles     |            |       |     |
|      | and (P2c, P2e, and P2b or P2d. Attach a Location Map as      |              |           |            |            |            |       |     |
| *b.  | USGS 7.5' Quad Date  |              |           |            | 1/4 of     | 1/4 of Sec | 4     | B.M |
| C-   | Address 2508 East 1st Street                                 | City         | Los       | Angel      | les        | Zip        | 90033 |     |
| d.   | UTM: (Give more than one for large and/or linear resources)  | Zone         | - 1       |            |            | mE/        |       | mN  |
| е.   | Other Locational Data: (e.g., parcel #, directions to resour | ce, elev     | ation, et | to,, as ap | propriate) |            |       |     |

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

An attractively detailed one and one-half story Queen Anne style residence with a one story rear wing, 2508 E. 1st Street is clad with shiplap siding and features a complex two-pitched hipped roofline with lower cross gables and wall dormers. In the west elevation is a cut-away bay. The dormers are capped by pedimented gables with carved sunburst design within. Wall surfaces are partitioned with a plain beltcourse between floors, and there is a simple frieze band below the eaves and a vertical beaded board apron at the base. The gables are enriched with patterned shingles and narrow scrolled vergeboards. Distinctive slender brackets are placed at the gable corners. Tall, one-over-one double hung sash windows in paired and single placement are typical; gable windows have bracketed sills and carved shell motif above. Within the front ell is a porch with a hipped roof supported by paired lathe-turned posts with tracery-like brackets and an openwork frieze. Entrance from the porch is via a paneled, two-leaf door with rectangular transom above. Concrete porch steps appear to have been added when the house was moved in the 1920s.

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present: 🛛 Building 🗆 Structure 🗆 Object 🗆 Site 🗈 District 🗅 Element of District 🗅 Other (Isolates, etc.)



P5b, Description of Photo: (view, date, etc.) East and north elevation, 08-2001.

\*P6. Date Constructed/Age and Source:

⊠ Historic □ Prehistoric □ Both
1890F (DataQuick)

\*P7, Owner and Address:
Akira & Fumiyo Seino
2506 E. 1st Street
Los Angeles, CA 90033

\*P8. Recorded by: (Name, affiliation, address)

Dana N. Slawson

Greenwood and Associates

725 Jacon Way

Pacific Palisades CA 90272

\*P9. Date Recorded: \_\_08-18-01

\*P10. Survey Type: (Describe)

Intensive - MTA Los
Angeles Eastside Corridor

\*P11. Report Citation: (Cite survey report and other sources, or enter "nene.")

| *Attachments:    | DNONE  | DLocation Map   | ☐Continuation Sheet    | ⊠Building, Structure, and | d Object Record |
|------------------|--------|-----------------|------------------------|---------------------------|-----------------|
| □ Archaeological | Record | District Record | DLinear Feature Record | ☐Milling Station Record   |                 |
| □Artifact Record | □Photo | ograph Record   | Other (List):          |                           |                 |

| State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND OBJECT REC  | Primary #   |
|--|---|
| BOLDING, STROCTORE, AND OBJECT RE  | 30116   |
| Page 2 of 2  | *NRHP Status Code 3S  |
| *Resource Name or # (Assigned by<br>B1. Historic Name _Martha Sindell Residence  | / recorder)28   |
| B2 Common Name   |   |
|  | Present Use: Residential/Commercial   |
| *B5. Architectural Style: Queen Anne *B6. Construction History: (Construction date, alterations, and date of   | alterations   |
| Service and the service and th |   |
| *B7. Moved?   No   Yes   Unknown Date: 1925  B8. Related Features:   | Original Location: Front of current lot   |
| One-story commercial building added to from  | t of lot in 1925.   |
| B9a. Architect: Unknown  | b. Builder: Unknown   |
| *B10. Significance: Theme Residential Development  | Area Los Angeles  |
| Period of Significance 1890 Property Type SF Res (Discuss importance in terms of historical or architectural context as defined by   |   |
| also typical of the style. Because of its retent it is a fine example of the Queen Anne cottage typevident on a building of modest scale, this resired Register of Historic Places under Criterion C. If the Queen Anne style are not uncommon in the Los beautifully preserved condition.  The first documented occupant of the house was Maresided there by 1897. In 1925, the house was move commercial building constructed at the front of operated a grocery store there. An assessment of the per National Register criteria was conducted; individuals were uncovered, or to events of his property that would indicate its eligibility unconstructed the second constructed.  | pe, and because of the fine craftsmanship idence appears eligible for the National Although other more imposing examples of Angeles area, few have survived in such artha Sindell, widow of T.H. Sindell, who ed to the rear of the lot and a one-story the property by R. Nishiyama. Nishiyama the significance of Sindell and Nishiyama; no biographical references to these storical importance associated with this |
| B11. Additional Resource Attributes: (List attributes and codes)   |   |
| *B12. References:<br>Los Angeles City Directories, 1897-1927.<br>Dataquick Information Systems (real estate data)<br>Sanborn Map Co., Ins. Maps for Los Angeles, 1894-<br>1952 update.   |   |
| B13. Remarks:  |   |
| *B14. Evaluator: D. Slawson  |   |
| *Date of Evaluation: 05-28-01  | ENTRY A   |
| (This space reserved for official comments.)   |   |

rn

PUBLISHED DAILY EXCEPT BOLIDARY LOS ANGELES, CALIF. WEDNESDAY, FEBRUARY 1, 1939

TO SET SOUTH

DELEGATION

DISTRICT MEET

Plan to Send Delegates to

Conference in Brawley

Sunday, Feb. 12

By YAYOR ARIKAWA

OFFICERS SELECTED

BY CENTURY GOLFERS

Dividing the work of the sourc-tary, the Century Golf chih chose Sam Minami as the 1998 socra-tary with Joe Ito as treasurer at their breakfast meeting held prior to their monthly tournament at Lakowood Country club on Bunday Among those elected to the tour-nament committee were Charence Arima, Rio Kashiwagi, Shig Ma-yekawa, Tom Sailu and Fred Ta-yama.

Market Golfers Set

Higashi Due on San

## 3rd Power Claims DECLARATION OF BEACH J.A.C.L. Defined By Arita BY NIPPONESE In Sino War Zone

Limitations Set Forth in Statement; Nippon Not Responsible for Indemnity

TORYO, Feb. 1 (Dense).—
Third power intimate who suffer property or after damage of the property of after damage of the instances was made to receive the host of the property of the property

## **Crown City Upsets Touted Utes**; Cards, Wanjies Also Win

Pasadenans Take Early Lead, Stem Utah Rally; Cubs, Panthers Beaten

By BOB BIKANO

By ROB HILLS WITH Special Control of the high flying Utes felt the biffur faste of defrait has night as they were maned by the hard fighting Green City quintlet, 24-26 on the Chenpron floor. With Laye Mikuriya dropping them he from all parts of the floor, the Panadesum gradied a big lead in the first half before the Utes from was able to get going.

lead in the first half before the Use from was able to get going. The end of the turn comto found Croses City with a 12-point ired as Minnrya and Edwar either through the Ula same defense time. The lower relied gamely in the final period but they were will 5 points behind as the game seded.

inc-up, the Duddhist five scent town, playing their best game a long time while the Cube we unable to click affernively.

Fus. Wanjies (43) Culs (31)
F.-B. Odn (24) M. Masuraga
F.-S. Takata (2) Matsuum (4)
C.-T. Naksmura (T) E. Furuto (4)
C.-M. Naksmura F. Rursmoto
G.-H. Taniyama (8) J. Karibum

G.-H. Taniyana (F). J. Kanifania Recrieg mile: Wanjias -T. Kaki (1). Citivers -G. Murshami (2). It. Kanifordi (3). The Cardinals rebebrated the return of Hide Uba by anashing the Panthers, 20-20 in the finals. The change tooked like a circul-to retain their title as they suched long shots when the Panthers defense played tack and reads set-ups when the lessers came set to need them. Turn Kanyama led the scoring

Style Leadership-

and a V-8 engine proved by \$72400 tournest inquies more than 5 million owners! IS THE DETROIT DELIVERED FRICE

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V-TIPE S-CHIMMER EMGIST—Right SCHEMIST SOURCESCOPES—Noises cylinders give monothurse. Small boabed for quiet ride.

cylinders give economy.

# WAR CONSIDERED

(Sy Transmitt Press)
TOKYO, Fyb. 1—Foreign Min-inter Hachtro Arita anneanced feday that Nippen is seriously considering a formal declaration of war on China.

# "Y" TO GREET **NEW L.A. HEAD** By YAYOI ARIKAWA state Commences. Do take Stime LONG BERGACH, Peb. 1.—Freque rations to annul delegates to the Southern District J.A.C.L. Counts bession at Brewley on Sunday Feb. 17, with he made by the new by organized Long Seach chapte of the Citizens League at a meeting to be held Thurnday, Feb. 1 at the Nibonjis Kai hali. Kon Nibol, president of the Nibonjis Kai hali. Kon Nibol, president of the Nibonji, winddress the group.

Japanese to Attend Banquet For J. W. McCandless

Members of the local Y.M.C.A. are joining with the other aline Associations of the Low Angeles area this week is welcoming James W. McCandless, new General Servetary of the Young Man's Christian Association of Los Angeles Manno M. Satowi, Japanese Y.M.C.A. examily serestary, announced to-day.

day. Outstanding among the events planned in boner of McCandina author and editor, who arrived in Los Angeles Morday from Dayton. Ohio, is a dinner-reception to be half at the Town and Gown Foyer, U.S.C. campus, the svening of Tilesday, Feb. 14. Other community receptions are being arranged.

JR. MATHONS INSTALLATION VALENTINE PARTY SET
The Junior Mutros club will hold as unstallation of officers and Valentine party combine at their next meeting to be held Thursday, Fyb. 2. 8 p.m. at the Jane Couch Center.

### CAGE MENU TODAY

JAU. 'A' LEAGUE At Bib High Court

still further down,

JAU, 'A' LEAGUE
At Jeffressen High Court

T p.m.—Checks vs. Tartan Jrs.
Checks all the way,

8 p.m.—Oliver Tigers vs. Galden Bears.
The Olivers will upset the Golden

Bears.

9 p. m.—Civina vs. Crown City
Covina will down the Pasadems
five hands down.

W.A.U. 'A' LEAGUE
7:40 p. m.—Thallum vs. Cosmos.
Experience favors Cosmos.
8:45 p. m.—Queen Eathers vs.
Coolds.
Close battle with Co-eds executing victors.

APPOINTED MANAGER

Lloyd Bayly, connected with Usheral Petroleum Corporation for 14 years, hus been appointed sales manager of the Southern division of this Mobilgas marketing organ-

iration:
Well-known throughout the Pacific west, Eayby is familiar
with all phases
of the oul business: He started with the
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Portland in 1925
and worked in
the Pacific
northwest until
1927 when he

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## Still Safe From Frost Toll JAPANESE FARM FLORAL GROWERS REPORT SLIGHT DAMAGE IN COLD

The general light frost reputed early yesterday and teday in Los Augeles and virially have taken but slight hell among Japanese produce govern and track farmers. It was discioned by C. Y. Nakasumra, accretary of the Southern California Farmer's Federation today.

With 45-hour advance warnings from the Westher Bureau, farmers have taken all possible pre-captions possible to pretent plantings.

Thursday; cool with heavy frost at night; gentle to moderate west to merihwest wind."

Thus to the whipping cold streak that his cut across the southland, damages to floriculture and survery stock has been relatively light, it was learned this mersing.

with 48 hour advance warnings from the Westher Sureau farmers have taken all possible perantines possible to pentent plannings.

Maximum isusperature in Los Angeles yestsetday was 50 and minterests 43. The IL E. Westher Sureau forecast is as follows.

"Los Angeles and visibility: Partly cloudy Wednesday and per of illuminations, Whyte sold from sexting, whyte sold thus saving growers from the dun-

#### FOUR OUTSTANDING FAVORITES OF W.A.U. 'A' CASABA LEAGUE PLAY IN FIRST ROUND CONTESTS

Two of the best games of the WA U. "A" baskethall league will be played at the Central T.W.C.A. grin tonight from 7:45 p.m.

The first game will find Tradians and Commos playing at 7:45 p.m.
Both are among the onitationing contembers for the championship.
Bochause of their experience the Commos are favored, however, Thanka will give them a good battle At 8:45 the Hollywood Queen Eathers will take on the Co-eds The young Hollywood aextette. From the league.

### Southland Notes

HOLLYWOOD V.W.B.A.
MILITING SHET TONIGHT

The complete final preparations for the Instellation notice to be listellation notice to be being this Friday. Feb. 3. at the laterrations: Institute, the Hollywood T.W.H.A. will hold a special meeting tonight from 7.30 p. m. at the Hollywood Calum. Netco Propilities in charge. Every members on two sides, a beast neithing ber is requested in sitzed.

SWANSONETTES SLATE
SRATE PARTY DATE.

SRATE PARTY DATE. For Monthly Tourney

EGYAL SPORTSMEN TO HOLD SKATEFEST SUNDAY

NISEI PLAYER SCORES

Chet Masca, first-aring guard on the LACCC varsity again got in the sensing column as City College church and the sensing column as City College church and Los Angeles Chropostors, 63-37, on the violant court hashight Masca, a former than court hashight Masca, a former Manual Arts player, scored 3 points.

VETERAN OIL MAN

APPOINTED MANAGER

Mostings of the Golden Hears have been changed from Thursday nights to every Friday at 8 p. m. at the L. A. Japanasse Hapitat church during the current banket-bull senson, it was aunuanced by Takio Katacka today.

#### NIPPONESE GRAPPLER LOSER IN HOLLYWOOD

A Nipponess grappler cavorting unite the imposing cognomes of Sogi Ramanaka banged his way to a loss in 17m. So on Monitary to Elem Rusch at the ficilitywood Legion Statisma. The match was one of the featured attractions on the reagram highlighted by Jesse James' victory over light heavy-weight obsampton Damby McShain in a non-title boot.

Japaneso-American Mirror P E E S E N T S LATE

Sunday Afternoon DANCE

Mueller's Sunday, Feb. 5 flatiroom From 5 to 8 p. st.

PLANS FOR NEW TERM

Pagina tha, vice-president, mar gavet Malammota secretary, Shi gako Shigekuwa, treasurer, Teo-yako Milanui, athletic manager Hoshike Kumata, acclut chaltmar and Shige Kossas, reporter.

**FUTABA KWAI ELECTS** NEW CLUB OFFICERS

WEST LOS ANGELES, Feb. 1— Mary Yawala was elected to guide the Pulaba Kwai at their amusal slaction meeting held at the local sakuen hall last week. Plans for the future were discussed by the criss.

giris.

Her cabinet now includes MasaKato, first vice-president: Sechiko Nakate, second vice-president: Masao Nishida, recerding
menestary; Sumiko Yawata, corresponding accedary; Funiko Leno,
book treasurer; Funiko Kato,
money treasurer.

NORWALK, Jan. 30.—Carrying out a st. Patrick's Day motif, the Norwalk Senior J.U.G. will hold a dance at the local Women's club house on March 17. Invitations are to be extended to the various clubs of the southland.



Ben Nakano

TYPEWRITER SHOP

## **Red Army Shifts** Lessen Tension

War Minister Itagaki Describes Soviet Frontier Relations as 'Calm' to Diet

DINNER HELD

To Carry Out Work

By ELLEN KUNISAKI

by BLLLS RCNINARI
stat Correspondent to Raile Admins
WEST COVINA, Feb. 1.—More
has 200 Americans and Japanese
risyed a chow-ment disner, the
sventh minial disner resonance
by the Wint Covina P.-T.A. All
vocacia of the disner were forvaried to the apparate very forlair program.

TOKYO, Feb. 1 (Damei).—Be-of that the recent shake-up in the Saviet Far Ensiern Army is loss partially responsible for the form the struc-tion at present was described as TOKYO, Feb. 1 (Domet).—Be-lief that the recent shake-up in the Soriet Far Eastern Army has been partially responsible for the lessening of tension of the Massimulus-Siberian to order was expressed by War Ministez Solshira Hagaki in a Lower House bedget session interpetta-tion today. The Red Army in eastern Asia has been shadily increasing milcain.
A final researcing note was added by the War Minister in his re-iteration of the statement that de-panese-Manchoukuss forces sta-tioned along the burder are tuly prepared to rope with any possible

The Roll Army in eastern Asia has been shealify increasing military forces along the Manchenturan frontier since the Changko-teng incident, but is now inder the direct command of Sevice Control Military headquarters, Ragasi told members of the Dist in arrower to a question placed by Representative Tada (Minselfo).

In the drautic reorganization and shale-up of the Red Army following the Rimmo-Japanese battles at Changkoring land year, the virtually independent command of the Far Real Army was curbed and Murshal Vasaily Bluecher, then the supreme commander-in-chief, was recalled.

"The constant threat of Soviet P.-T.A. Dinner Raises Fund

armed forces arrows the Manchou kuan border is universally known. Hagaki declared, but the changes

Ruan border is universally known. Hagsid declared, but the changest the first pengram. Shig Hashtmoto served as master of ceremonits. Georgiero Nahamura, president of the Central Japanese Angeles apolas association and Acting Consults Similar of Los Angeles apolas algorithm and Acting Consults Similar of the friendship exists of the first pengram. Sometically extend the Los Angeles of the from the basicst scored 24 of their teams 30 points, the Hawthorne Y.W.B. A. castbarn 30-21 at the Central Y.W.C.A. gram is Los Angeles Y.W.B.A. castbarn 30-21 at the Central Y.W.C.A. gram is Los Angeles Y.W.B.A. castbarn 30-21 at the Central Y.W.C.A. gram is Los Angeles Y.W.B.A. castbarn 30-21 at the Central Y.W.C.A. gram is Los Angeles proved too much for the Angeles by the final quarter, they were upon the first quarter they were presented.

J.A.U. CASABA games at Constrained to the Constraint of the Central Y.W.C.A. 7.145 p. 10.

HEROSHIMA SEINEN Kai master log of the first quarter depends and pulso were presented.

J.A.U. CASABA games at Risk, Jefferson high gym, 7 p. us.

W.A.U. CASABA games at Constraint quarter, they were presented.

J.A.U. CASABA games at Risk, Jefferson high gym, 7 p. us.

W.A.U. CASABA games at Constraint quarter, they were presented.

J.A.U. CASABA games at Risk, Jefferson high gym, 7 p. us.

W.A.U. CASABA games at Constraint quarter, they were upon the first quarter depends and pulso were presented.

BUDDY UNO SPEAKS IN NORTHERN CITY

MARYSVILLE, Peh 1.—Buildy Renumare Una will lecture to the Yole-Solame Butte Column chapter of the J.A.C.L. tensorrow night at the Marywille Japanese hall. The public is invited to attend it has leen said. Yestenlay he fectured to the Senta Cros Seinen-kai, the Linis club in Watsonville.

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By H. F. O'Neill

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Kumi Ishizawa, 2117 Sawtelle

race winner on Thursday at Bay

Meadows. He scored on Coin Silver

FRESNO. -- Project to expand

and beautify the Mountain View

Japanese cemetery is now under-

way, according to the Rev. Norio

Ozaki, secretary of the Japanese

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program, the cemetery will cover

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gridirons around the City.

were 20 yards each. Bobby Endo.

right guard, also saw action for

Ron Katanaga, left end, aided

Los Angeles High by completing

numerous passes and completing

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Arai played for L.A. High.

ed Jeff's conversion.

7:00-HIC vs. All Proples

9:00-Holiness vs. Union

8:00 - Sawtelle vs. Clearwater

8:00-Evergreen vs. Venice

Gardena.

SATURDAY, NOVEMBER 7, 1959

tallies twice in 33-0 tilt Prep school varsity football scrape up some 50 yards in short managerial training course given kicked off to third league tilts runs for the Bulldogs which bowby the Brunswick Co.

"The Roosevelt Rough Riders stop at St. Louis, Mo., to visit Teruo Yamamoto, Banning tail- were trampled by host Huntington with Norm Meyers one of the naback, shined with touchdowns Park last night, 33 to 7. Fighting tion's top bowling instructors and in the first and second quarters of hard for the Ted's were Richard member of the famed Falstaff

#### NETTERS ARRIVE

TOKYO, AP. - United States skirted end from seven yards out. split-hair victory over Westchest- Davis Cup ace Barry Mackay of Dayton, Ohio and Myron Franks for Gardena, which lost to Nar- Wayne Saito in the left guard of Los Angeles arrived Thursday bonne yesterday, 20 to 12, with 50 slot saw action for Belmont which to compete in the 35th All Japan yards in short runs and some 90 was stomped by Eagle Rock yes- Tennis Championships. The eight

# Elbee Poly trio rack up 5 teedees

Romans were edged by Fremont 18 to 14. Steve Furuta and Victor

in the first quarter when he re-Joe Kumiyama, Kiyo Hachiya, turned the kickoff and later block- and Gary Furuta led L.B. Poly to a 32 to 0 victory over host L.B. Trying their best to aid Garfield Wilson yesterday with five touch- Westchester tilt, Steve Hamachi,

Kumiyama, left half, perked up Dale Nomura, and Bob Hanada. Miyano, left half, managed to in the first quarter with a 50 yard Gondoliers in the first half. West-

more points.

Higurashi Bowling Supply . Hachiya, right half, took over 20 to 14 victory over Narbonne the three Garden Grove High in the third period with a 80 yard was Kats Nishi, end, who latched touchdowns yesterday as the Ar- tions of station-proved, businesssweep around end and later turned on to a well-paced aerial and gonauts sunk Newport Harbor, 21 building programs by various the opposite end for 20 yards and romped 30 yards to paydirt, Mas to 6, in a Sunset League game. | Mobil dealers. another teedee. From there, the Nakamura at fulback and Vincent versatile halfback made the PAT. Okamoto at left half totaled 40 DEADLINE FOR WLA

> Jack Endow, Roosevelt's prize halfback, tallied twice in the second half to push the Teds to sweet victory over Huntington Park, 19 to 6. Endow hit paydirt on a

Nov. 5 thru 8, Thurs.-Sun. Thurs., Fri. Box office opens 6:30 p.m. Sat., Sun. 1:30 p.m.

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33 to 0. In the first period, the Sadamoto, and Kenji Uyetake, Pilot back ran around right end | Bill Okamoto at defensive right for 35 yards to paydirt. The other guard played his usual fast, hard touchdown came when Yamamoto game for Venice High in their Quarterback Henry Ota gained er, 14 to 13.

yards in passes, two of which terday, 31 to 0.

play as the Pilots downed Jordan, Miyagawa, Eddie Kitagawa, James team.

## Holiday Bowl men enroute to Chicago

Hanko Okuda and Paul Uyemura of the Holiday Bowl board of directors will enplane for Chicago on Monday to attend a two-week

Enroute homeward, they will

day competition will start today.

# a touchdown pass in the first half of play but to no avail as the Romans were edged by Fremont

City high school Bee football | yard end run and scored again on In the Dorsey versus Jefferson games showed Sansei going all out a 20 yard pass play which Dennis tilt, which ended in a 12 to 0 vic- for their respective alma maters Yoshimoto set up by blocking an tory for the latter, Terry Shioshi- yesterday and last night in tilts H.P. punt, Jim Matsuba aided the ta. Don's able right half, sparked held over the Los Angeles area.

were Mas Miyano, Gary Mayetani, downs between them.

run up the middle to paydirt and chester was crushed by the Gonin the second period ran around dos, 26 to 0. end for another 50 yards and six

at half back kicked the extra my Taniyama, point.

Jim Nakasuge, and Roy Shioji.

"Kuroi Kafun"

"Isamihada Senryo

Kokichi Takada, Michiko Saga, Shogo

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Teds with numerous short runs and Larry Noritomi and Stanley

In the lively Venice versus right half, intercepted a pass and sped 30 yards to score for the

Evenly distributing his talents Venice's Steve Izuhara at half-Also in the second quarter, Fu- back, made 30 yard TD passes in ruta in the fullback slot, crashed each half. Others backing the Gonthrough the middle to romp 40 dollers were Yoshi Miyamoto, Ronyards to paydirt. Dana Takeuchi nie Hatada, Dennis Tani, and Jim- TAKAHASHI TALLIES

Others seeing plenty of action and 30 yards, respectively, on SWEEPERS IS NOV. 20 for the Bunnies were Hiro Komori, short runs. Others playing for Gardena were David Yanai, Dennis Kobata and Kay Kikawa,

## Solon expects long fight in civil rights

FRESNO, (A) .- Sen. Thomas H. Kuchel, R.-Calif., today predicted "another ugly talkathon" will begin when civil rights legislation Shirota posted one win each on after prolonged illness, will be held

Kuchel, talking to some 1000 \$16.40 and Shirota the seventh Fresno county educators, said the on Social Event at \$5.40. elimination of the filibuster will be one of his projects at the next ON WINNER

congressional session. The senator said the filibuster SAN MATEO. George Taniguis used for only one purpose, to chi was in the saddle of the first keep senators from voting.



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Sato Ins. Agency 344 E. First St., L.A. 12 MA 7-1425 NO 5-4797

## Nippon stock brokers set Hutton & Co. visit

brokerage firms on a tour of their facilities at 623 S. Spring St., Tuesday at 9:30 a.m. The group is winding up a world-wide tour of Of Isle statehood stock exchanges, the first time such a journey has been attempted to the Pacific Coast Stock Ex-

representative with Hutton, will and Hawaii. act as guide of the New York Stock Exchange member firm's D.-Hawaii, were the featured Spring St. offices.

## Japanese classical

program at Hollywood Hi Madame Tokuho Azuma and Kimio Eto and their students are presenting a Japanese program of dance and music at Hollywood High School Auditorium, Sat.

Nov. 21, 8:30 p.m. Presented will be the following dancers: Ukiyoe Utamaro, Kiku, Onatsu and a folk dance Musical selections include Sakura Henso Kyoku, Midare, Mizutama No Shirabe, Kiko No Kyoku.

Tickets are available at the Southern California Music Company and all mutual ticket agen-

#### RELIEF FUND

STOCKTON. - A total of 183 donors contributed \$1162 toward mer gold miner, had only one the Stockton Buddhist Church typhoon relief fund.

by Japanese brokers, with a visit E. L. Bartlett, D.-Alaska, lauded three years on California farms California's Gov. Edmund G. under contract. Brown Friday night at a \$100-a-Herbert Kawahara, a registered plate Democratic salute to Alaska

> Bartlett and Rep. Daniel Inouye, speakers at a dinner attended by 500 leading Democrats. The salute to the 49th and 50th states turned into a series of pitchers for Brown.

And each time a speaker implied that California's governor was headed for national office, the California audience applauded with gusto. Bartlett said that contrary to linas.

Republican intimations, the Demo-

crats in Congress have been fighting to reduce the national debt. "For every once in a while." said Bartlett, "the Congress receives a request from the admininstration - the businesslike, saving and efficient Eisenhower administration - to lift the debt

"And the Republican administration last year managed-and seemingly with no considerable difficulty-to roll up the biggest peacetime deficit in our nation's

The gray-haired Bartlett, a for-

(Continued on Page 3)

## Nisei Mobil dealers at confab

Four service station operators, to Communism, and from profrom Los Angeles will join hun- gressive selling to American hudreds of petroleum retailers from mor will be discussed. A panel of every corner of the seven western top marketing men from General states at the 1959 Mobil Dealer Petroleum Corporation will be on Convention at Las Vegas, Nov. 17 hand to answer questions submit-

Included in the group are Rich- a preview of plans for the future. ard Kaku, Henry H. Hori, Haruo Murakami, and Frank Kuramoto, their wives, who will attend a Centering around the theme, series of social events, including "Front Line Retailing," the two luncheons, fashion show, and days of convention sessions will tours. At night they will enjoy Aiding Gardena Bees to their Jim Takahashi scored one of combine addresses by nationally the top shows in Las Vegas. famous speakers with

One of the primary objectives of this year's convention is to give dealers concrete ideas they can take home with them and put to sweepers to be rolled on Dec. 5 profitable use, according to comand 6 at Picwood Bowl is Nov. pany spokesmen.

## Everything from compact cars OBITUARY

YAENO IRI Funeral service for Mrs. Yaeno SAN MATEO. - Nisel riders Iri, 73-year old native of Nagano-George Taniguchi and Mitchell ken who passed away on Nov. 6 comes before the Senate next Friday at Bay Meadows, Tanigu- at the Zenshuji Temple on Wed-

chi copped the sixth on Primary at nesday, Nov. 11, 7:30 p.m. The deceased is survived by the widower Takao, two sons, George Hideo Tani and Carl Yoneo Iri and a daughter Virginia Shizuko

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# Inouye stresses Nippon farmers report E. F. Hutton & Co. will host far-flung impact favorably on program

YOKOHAMA, AP.-A group of 107 Japanese farmers returned talked to our employers." home Friday after working for

tion at their treatment in the erage saving per person for the three years was \$2000.

Nine other returnees said they had quit before the three year contract finished-but only because they had been offered better jobs at home.

Most of the 116 worked on 27 farms in the Oxnard area near Los Angeles-24 of them owned by Japanese. A few worked at Sa-

They comprised the third group

of Japanese returnees. Still remaining in California on contract are 1446 Japanese farmers. Their statements, made in a series of interviews aboard the liner President Cleveland, differed from expressions of dissatisfaction

uttered by some members of the second group of 78 men who returned here Oct. 20. The latter worked on farms in vada, Arizona and Michigan." the Yuba area near Sacramento. They complained about U.S. immigration regulations which they

said restricted the freedom and their treatment given at the hands of their employers, mostly Japanese immigrant. Yuzuru Oka, of Hidaka, Waka-

from Salinas, said, "My early days at Salinas were miserable. But EXOTIC FOOD

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yama, one of today's returnees

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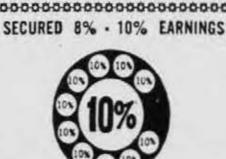


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great improvements were made after U.S. immigration and labor officials came to our place and

Akima Biyake, of Kumage-gun, Yamaguchi, another returnee from Salinas, said, "as far as I know Nearly all expressed satisfac- working conditions differed in each region. We cannot dispute United States. They said the av- what our colleagues from Yuba said, but we can say we do not

share their views." Iwao Kudo, from Iwanai, Hokkaido, a returnee from Oxnard. said, "at Oxnard about 350 of us Japanese farmers lived together in one camp. But we enjoyed perfect

"For instance, I quit one farm a year ago after quarreling with a Mexican foreman. When I applied to my second employer for a month vacation last June to attend the moral rearmament (MRA) Conference in Michigan, my empolyer cheerfully allowed me to go. Twenty other Japa-

nese farmers also attended." Tsutomu Ishibashi of Date, Hokkaido, also from Oxnard, said: "We never had difficulties with immigration officials when many of us left California to tour Ne-

Some earlier returnees from

Yuba complained about poor med-(Continued on Page 3)



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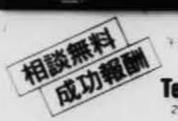
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#### RELIGION CALENDAR By Martha Suzuki

Anaheim Free Methodist (714)827-0782. The First Service (traditional /blended in style) will

meet at 8:30 a.m. and the Second Service (contemporary style) will be at 11 a.m. with Pastor Walter Martinez speaking in both services on the topic of fasting. There will be a special prayer tie for Jeremy Yamada who is leaving for Brazil. Sunday School and nursery care are available during the second service. The Japanese speaking service will be held at 11 a.m.

Centenary United Methodist (213)617-9097. The church hosts Nihongo service at 9:30 a.m., English Service and Sunday School at 10:30 a.m., Bible study on Sundays at 9:30 a.m. and Tuesdays at 10:30 a.m. The Twenty First California Pacific Annual Conference will be 22-26 in Redlands.

Christ Presbyterian of Hollywood (323)665-3581. The Rev. Stephen M. Baroldy, pastor, will preach the English sermon on June 26 (Sun.) at 11 a.m. Sunday school for nursery age through senior high age convenes at 10 a.m., while the adult Bible class meets at 9:30 a.m. For map and directions, visit http:// www.pacificpresbytery.org/cg/cgs/ christhollywood,html

**Evergreen Baptist of Los Angeles** warmly invites all to its Sunday worship services at 8:30 a.m. and 11:30 a.m. Church School for all youth starts at 9:30 a.m. Adult CLASS starts at 10 a.m. Rev. Dr. Ken Fong is the Senior Pastor. For more information contact our offices M-F, 8:30 a.m.-4:30 p.m., (626)280-0477, or visit www.ebcia.org.

**Evergreen Baptist of San Gabriel** Valley (626)527-3966, welcomes all to our Worship Services, 8 a.m. and 11 a.m. held at Rio Hondo College Campus Inn, 3600 Workman Mill Rd., Whittier, Church School for infants to adults is 9:30-10:30 a.m. Our Senior Pastor is Rev. Cory Ishida. Our web site is www.evergreensgv.org. E-mail us at info@ebcsgv.org for information.

Faith United Methodist Torrance (310)217-7000. Sunday worship service in English is held at 8:30 a.m. and 10:30 a.m. and led by Rev. Derek Nakano and Rev. Dr. Hidemi Ito, (Pastor of Visitation and Nurture). Japanese language services are led by Rev. Yumiko Miyagawa and begins at 12:15 p.m. Sunday School meets at 8:30 a.m. and 10:30 a.m. each Sunday. Japanese Language Sunday School meets the second & fourth Sunday of each month at 10:40 a.m. Contact the church office for additional information on variety of music classes, bible study, grief support and other small group opportunities.

First Presbyterian of Altadena (626)791-4271. Sunday, June 26 at 9 a.m., Children's Sunday School, Adult Bible Class and Class for youth, 10:30 a.m., Family worship. 10:45 a.m., Toddlers care.

Gardena Buddhist (310)327-9400. June 26, Regular Sunday Service 9:30 a.m., Sermon by Rev. Nakano, English, Rev. Miura, Japanese. 11:30 a.m., Coordinating Council.

Gardena Valley Baptist (310) 323-5683. Please join us for Sunday Service 8:45 a.m. or 10:45 a.m. in English as Pastor Steve Langley will finish our series entitled "The Life of Christ" and will speak on, "A Dialogue on Self-Self-Control." Our Junior High and Senior High Sunday School will meet 8:45 a.m. only at Denker Ave. Elementary school Auditorium, 1620 W. 162nd St., Gardena. Our Nichigo Service meets at Denker Ave. Elementary School auditorium at 10:45 a.m. led by Pastor Bunso Otani. There are weekly Bible study groups for Jr. High, Sr. High, College, Young Adults, and Adults and special interest groups: widows, young marrieds, golf, fishing, and 55+. Our email address is gvbc@gvbc.net and web site is www.gvbc.net.

Gedatsu Church, So. South San Gabriel June 25, 26, 11 a.m. Sacramento Rokujizo Bazaar.

Grace First Presbyterian (562)421-4100. Traditional-blended service, 9 a.m., Blended-contemporary service, 10:45 a.m., Church School both hours, Rev. Dr. Steven E. Wirth, Pastor; Rev. Gerald Arata, Rev. Marion Park, Associate Pastors; Stan DeWitt, Minister of Music. www.gracefirst.org

Higashi Honganji Buddhist (213)626-4200. On June 26 (Sun.), Sunday Service will be held at 10 a.m. Dharma talk will be delivered by the Rev. Mi Miyoshi hi in Japanese and the Rev. Imahara in English. Following the service a Betsuin Family Day Luau will take place until 3 p.m. which includes Hawaiian food, hula dancing, games and crafts. Cost is \$2 for adults and children.

Hollywood Independent, UCC (323)664-0036, invites all to Sunday worship service at 10 a.m. with Pastor John Varga

Huntington Beach Lutheran of the Resurrection Japanese Ministry and Pastor Yoshihiro Tanaka, (714)964-1912, welcomes all to Sunday Service on June 26 at 11:30 a.m. Pastor Tanaka will speak on "He Shall Not Lose His Reward." The service will be at Bercaw Hall,

Japanese American Christian Chapel (805)760-4222. Camarillo Japanese Christian Chapel has changed its name and has a new English pastor. Sunday Worship 11 a.m. English with Pastor John Katagi. Japanese with Pastor Shozo Yamamoto, Youth and Children Ministries - Youth with Jennifer Kuge. Children with Ester Kuge

Japanese Evangelical Missionary Society (JEMS) 948 E. Second St., Los Angeles, (213)613-0022. Contact JEMS InfoJEMS.org; phone. www@JEMS.org and ask for Rev. Sam Tonomura, Executive Director for more

Konko Church of Los Angeles (323)268-6980. On June 26 (Sun.) at 11 a.m., Mid-Year Grand Purification Service officiated by the Rev. Alfred Tsuyuki, head minister, will be held. Prior to the service at 8 a.m., mid-year grand cleaning of the church will take place. We're looking forward to members' enthusiastic support. Everyone is invited.

Jodoshu North America Buddhist Missions (213)346-9666. June 25 (Sat.), 10 a.m., Special Nembutsu Practice, June 26 (Sun.), 10 a.m., OBON preparation clean up & Members' meeting. Every Morning, 8:45 a.m., Daily Morning Service.

Koyasan Buddhist (213)624-1267. June 24 (Fri.), 7 p.m., Boy Scout, Girl Scout Assemblies. June 26 (Sun.) 10 a.m., Morning Service. Sermon by Rev. Yokota. 1:30 p.m., Monthly Goma Service. June 29 (Wed.), 7 p.m., Boy Scout, Girl Scout Assemblies.

Los Angeles Holiness (323)733-5000. "Special Delivery: You're a Letter from God" will be the topic of Pastor Rick Chuman for Sunday's 10:15 a.m. worship service in English in the social hall. The Nichigo worship will be at 10 a.m. in the chapel. Graduation Luncheon following service in the social hall.

Los Angeles Hompa Hongwanji Buddhist (213)680-9130. June 26 (Sun.), 10 a.m., Betsuin Sunday Service. Dharma Message in English, Rev. Kenn Koizumi and in Japanese by Rinban George Matsubayashi. 11 a.m., Buddhist Study Class in English by Rev. Briones and in Japanese, Rinban Hour in English by Rev. John Iwohara of Venice Hongwanji Buddhist Temple. Sponsored by the Venice Fujinkai in memory of the late Venice Fuinkai members. June 27 (Tues.), 7 p.m. and June 29 (Thurs.), 7 p.m. Obon Dance practice.

Lutheran Oriental Torrance (310)329-9345. On June 26, 6th Pentecost Sunday and Service of Blessing and Wholeness, at 10 a.m. Pastor Paul Nakamura preaches on "The Sword of Christ: a Cup of Water." Bible Study, 8:45 a.m.

Maryknoll Catholic (213)626-2279, Weekend Masses will be celebrated on Saturday at 5 p.m. (English) and on Sunday at 8:30 a.m. (bilingual) and 10 a.m. (English). Recitation of the rosary is held between Sunday Masses with coffee and donuts following both. Noon Mass is celebrated Monday through Friday, Sunday Raffle is ongoing weekly until Summer Fun Nite on July 23. Maryknoll Karate Club invites all to its "Dinner & Bingo" this Saturday starting at 5:30 p.m. in the auditorium. For further information, please call or visit web site www.japanesecatholiccenter.com

Mission Valley Free Methodist (626)285-6788. June 26 (Sun.), worship for the English speaking congregation is 9:30 a.m. in the sanctuary with Pastor Gary Gaulton speaking on "What To Do If You Married the Wrong Person." Sunday school for children from pre-school to 5th grade starts at 9:30 a.m. Adult Sunday School starts at 11:15 a.m. with the Gospel of Mark in the Prayer Chapel and Women's Bible Study in Room 11. Nichigo Worship is at 9:30 a.m., in the fellowship hall and Bible Study at 11 a.m.

Montebello Plymouth Congregational (323)721-5568. Join us June 26 for worship at 10 a m. with the Rev. Marcia Hoffman, guest speaker. For more information on Summer Exploration VBS, Bible studies, computer classes, dance classes and cultural

classes, please contact the church office. New Life Christian Church, Crescenta-Cañada YMCA, La Cañada English-Speaking: Sunday Worship starts 9:30 a.m. Sunday School for ages infants through 12th grade during the second half of worship. Grow Groups for Youth, Young Adults and Adults meet during the week. Senior Pastor Arnold Doi and Associate Pastor Dave Watanabe are ministers. For information call (818)242-4738.

Nichiren Buddhist Temple (323)262-7886, On June 26 (Sun.), "Shodai-Gyo" starts at 10 a.m. It is one of unique Nichiren-shu practices to chant the title of the Lotus Sutra vigorously, then quietly meditate for oe hour. You will feel spirituality and energy within you. The public is welcome. "Wasan" is another practice for Nichiren-shu members. The practice will be held at 11 a.m. on the fourth Sunday regularly. It is to recite St. Nichiren's life story with rhythm of drums. The 19th days' Memorial Service for the Late Rev.

Myoko Seo will be held at 12 noon. Orange Coast Free Methodist (714)641-1944. Sunday Worship Schedule: Nichigo Service, 9:30-10:30 a.m. English Service, 10:45 a.m. to 12:15 p.m. K-6 Sunday School 11 a.m. to 12:15 p.m. Please check our web site at www.ocfmc.net for directions and any special events or classes

**Orange County Buddhist Church** (714)827-9590. June 26 (Sun.), 8:30 a.m., Meditation Service. 10 a.m., English Service - Rev. Akio Miyaji on "Nembutsu-the Eternal Truth." No Dharma School classes.

Palos Verdes Baptist Church 28 Moccasin Lane, Rolling Hills Estates, (310)541-1811. The church invites you to its worship service on Sunday at 9 a.m. Children's Sunday School and Youth Worship are held at the same time. Junior High and High School students are also invited to exciting Friday Night Fellowship at 7 p.m. For more information about small groups and other children's and youth programs, please call. The Senior Pastor is Ken Tang-Quan.

Pioneer Ocean View UCC (Ocean View UCC & Pioneer UCC merger) now at 2550 Fairfield St., San Diego, (619)276-4881. The church invites you to our Sunday Worship Service at 10 a.m. and hear special music from the Praise Choir. A special congregational meeting on church architectural planning will follow the service. Rev. Norma Nomura DeSaegher is the minister.

Sage Granada Park United Methodist Church, Alhambra (626)570-3801. invites you to English Language Worship Service on June 26 (Sun.), 9:30 a.m. with Marguerite Rivera Bermann preaching. The liturgist will be Doreen Nakamura with Scripture reading by Azariah Rivera. Nichigo Worship also begins at 9:30 a.m.

in the Rev. Yokoi Chapel. You are invited to come to the front of the Sanctuary following worship for prayers for the Sick, with Laity present to pray with you. Web

site: http://www.gbgm-umc.org/sageumc SGI-USA Los Angeles Friendship Center (323)965-0025 June 26 (Sun.), 10 a.m., Nichiren Buddhism Introduction study Meeting (Room C).

St. Mary's Episcopal (213\)387-1334. On June 26 (Sun.), Holy Eucharist is held in English at 7:30 a.m. and 9:45 a.m. with the Rev. Nicole Janelle as celebrant and preacher at 7:40 a.m. and the Rev. Alix Evans as the celebrant and the Rev. Janelle as the preacher at 9:45 a.m. 12:15 p.m., Holy Eucharist in Spanish.

San Fernando Valley Holiness (818)896-1676. English and Japanese peaking services start at 11 a.m. each Sunday. There is also an early English service from 9 a.m. Join us for a coffee hour at 10 a.m. Activities for children of all ages begin at 11 a.m.

San Fernando Valley Sunrise Japanese Church invites all to Sunday service at 10:45 a.m. with the Revs. Paul and Spring Iwata speaking. During the service, there are Children's Sunday School and the Youth Ministry Hour. On Thursday evening at 7 p.m. on June 16, we will have pecial guests, Ron Brown and Jun Takimoto and his group of 25 singers. Please join us! Sunrise II Church holds a bilingual service on Sunday evenings from p.m., led by the Revs. Paul and Spring Iwata. On the second Wednesday of every month at 7 p.m., a home meeting takes place at Yukio Masai's 1656 W. Gardena Ave., Gardena, (310)329-1586. Also on the second Friday of every month there is a home meeting at Carol Iwahashi's in Temple City, (626)292-7503. Pastor Spring Iwata's Japanese-language 'Springwater' (Haru no Izumi) weekly radio broadcast is heard on KTYM AM 1460 on Sundays at 3:30 p.m. For information call (818)782-8738 or visit our web site at sunrisejapanesechurch.org

Senshin Buddhist (323)731-4617. June 26 (Sun.), 9:30 a.m., Family Service. 10:30 a.m., Study Class - Rev. Kodani and Japanese Sermon - Rev. Shoki Mohri, BCA Minister Emeritus and Dharma School. June 27 (Mon.), 7:30 p.m., and Wednesday, June 29, 7:30 p.m., Bon Odori Practice.

South Bay Community Church, Gardena (310)972-2910. June 26, Sunday services are at 9:30 & 11 a.m. There is also Wednesday Night Service at 7:15 p.m.

The Lord's Cross Christian Center L.A. Church (818)247-4926. Sunday services at 9 a.m. (English) and at 11 a.m. (Japanese) and Wednesday Prayer Meeting at 7 p.m. (Japanese) and at 8 p.m. (English) at Glendale YMCA.

Union Church of Los Angeles (213)629-3876, welcomes all to its English Service June 26 (Sun.) at 11 a.m. with Pastor Ken Yabuki speaking on "The Secret of Deepening Faith." Parking is available at Joe's Parking (Sho Tokyo Parking) on Second Street on Sundays.

Venice Hongwanji Buddhist Temple (310)391-4351. Family Sunday Service 9:30 a.m., Dharma School at 10:30 a.m., Adult Discussion with Rev. Iwohara. Daily Service at 9:30 a.m., except Wednes- a.m., Garden Cleaning.

RAFU CALENDAR

days. Monthly Japanese Service at 1:30 p.m., First Sunday of each month. Obon Festival on July 16 & 17. Everyone is invited to join any of our activities. Please call or visit our webs ite at www.vhbt.org

Venice Santa Monica Free Methodist Worship and Sunday School: English: - worship: 8:45 a.m. and 10 a.m., Sunday school: kids - 8:45 a.m. & 10 a.m., adults - 8:45 a.m., 10 a.m., & 11:30 a.m. Japanese - worship: 11:30 a.m., Sunday school - 10 a.m.

West Adams Christian (323)733-5860. The Church welcomes you to attend Sunday Services June 26 at 9:30 a.m. Pastor James Wilbar will speak on "A Clean Heart," Joe Nagano will serve

West Covina Buddhist Sunday gathering at 1203 W. Puente Ave., (626)913-0622. On June 26 (Sun.) at 10 a.m., the temple will hold its Sunday Service at 10 a.m. with the Rev. Kenjun Kawawata officiating and delivering the Dharma message.

West Covina Christian Church (626)917-0743. Please join us for Sunday service in English at 10:30 a.m. (Rev. Rick Iwanaga). Nichigo worship is at 9 a.m. Children and Adult Sunday School classes start at 9:15 a.m. We have our weekly Bible Study every Tuesday except second week of the month. For more information, please call (626)917-0743 or e-mail us at contactwccc@juno.com,

West Los Angeles Buddhist (310)477-7274. June 26 (Sun.), 9:30 a.m., Sunday Service (English and Japanese) and Dharma School with Rev. F. Usuki. Everyone is welcome. June 28 (Tues.) & June 30 (Thurs.), 7:30 p.m., Obon dance Practice. Everyone is welcome. June 29 (Wed.), 7:30 p.m., taiko class, everyone is welcome. June 30 (Thurs.), 1 p.m., Study class (in English) with Rev. F. Usuki. Everyone is welcome. July 1 (Fri.), 7:30 p.m., Shotsuki Hoyo. West Los Angeles Holiness Church

Sunday schedule will be Nichigobu worship, 9:30 a.m., English worship, 11:30 a.m. and English Sunday School, 9:40 a.m. The Rev. Takashi Furuyama is the Nichigo minister and Pastor Stephen Sato leads the English worship. West Los Angeles United Method-

ist (310)479-1379, invites all to join its Sunday worship in English at 9:30 a.m. led by the Rev. Gail Nakamura Messner. At 11 a.m., the Rev. Kana Shimasaki will lead the Japanese Language Service. Child care is provided.

West Valley United Methodist (818)886-5553. West Valley UMC, and Chatsworth UMC, which share the same church facilities will hold a joint service on the first Sunday of each month. at 10 a.m. with the Rev. Ruy Mizuki, pastor of both church, presiding. There is Sunday School for children. Coffee Hour follows worship.

Wintersburg Presbyterian (714)740-9400. Sunday worship in English, 10:10-11:30 a.m. Nichigo Service 9-10 a.m. Sunday School & Bible Studies all ages: 9 a.m. Nichigo, 10:20 a.m. College/Young Adults Bible Study, 6 p.m.

Zenshuji Soto Mission (213)624-8658. June 25 (Sat.), 6:30 a.m., Zen Meditation (Zazen), June 26 (Sun.), 8

## **VOX POPULI**

## Random Thoughts of 60 Years

By HARRY HONDA

Hard to believe, but it's been 60 years since WWII ended and there were at least 100 Nisei veterans attending the sixth annual celebration dedicating the Go For Broke monument where the Tokyo club (Yamato Hall) was situated in the prewar era. Usually there's only one main speaker at these functions, but this time we had two-picture and photo is the Rafu Shimpo. Story says the Rescue of the Lost Battalion occurred in 1945-wrong, it was 1944 in October. Thing to recall is that National JACL at one time held National Nisei Memorial Day on the Sunday closest to Oct. 23 when Bruyeres was liberated, followed by the rescue of the Lost Battalion a week later.

I re-read Pierre Moulin's book, "U.S., sure I had the correct date—it was Oct.

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And the 442nd began that campaign 10 days earlier to liberate the city in Lorraine (the province in eastern France), while chasing the Germans eastward rescuing the Texas Los Battalion of the 36th Infantry Division (the men who were already surrounded in the mountain for a week) on Oct. 30 and continued to push the enemy from the Vosges forest and mountains back to

their homeland across the Rhine. For the Germans, it was unlike fighting in Italy-retreating to fight another day. For the Germans in October-November, 1944, it was a fight for their lives and defense of their Fatherland (no more than an hour's drive today by car to the river).

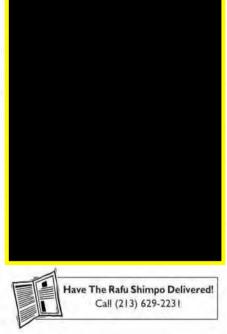
I spent an hour flipping the pages of Moulin's book, which he autographed for me when I bought a copy at the MIS Samurais in Bruyeres" (1993) to make reunion in Washington, D.C. in 1993. I met him again in Honolulu, still

autographing his book at the National JACL Convention in 2004. Was I surprised to see him there. He had retired from his work with a pharmaceutical firm in Luxembourg a couple years earlier and chose to live in Honolulu.

And thanks for getting me to peruse a book that's been sitting on the shelf untouched for at least 10 years.

Some numbers to remember: The 100th/442nd suffered 814 casualties (117 KIA, 657 wounded, 40 missing in action) in the rescue the "Alamo Regiment" battalion of 211 Texans-about 4 to 1 ratio by numbers of men rescued and casualties sustained in the rescue. And Col. James Hanley in his memoirs ("A Matter of Honor") adds that's not counting "many (Nisei) with respiratory diseases and trenchfoot." Incidentally, the Texans never felt they were "lost"they knew where they were all the time.

The opinions expressed in this column are not necessarily those of The



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(Readers who wish to publicize events for their non-profit organizations in the Community Calendar are encouraged to send in news releases-in one brief sentence containing the essential facts—to Community Calendar, English Section, The Rafu Shimpo, 259 S. Los Angeles St., Third Floor, Los Angeles, CA 90012.)

June 25-Join the Orange County Sansei Singles (OCSS) for their P.F. Chang's Tabemasho/Casual Activity Night, 5 p.m. at P.F. Chang's China Bistro, 2041 Rosecrans Ave. El Segundo. Cost \$25 members, \$30 non-members. Maximum 30 persons. RSVP by June 18. For information call Larry at (310) 649-5293 or Peggy at (323) 727-9989. June 25—It's finally summer! Join

the Norwalk Dance Club's "Summer Social" from 7 to 11 p.m. at the Southeast Japanese School & Community Center, 14615 S. Gridley Road in Norwalk. The cost is \$8 for members and \$10 for nonmembers. Music for dancing will be provided by Frances Jew and line dancing will be led by Edna Kurihara during intermission. Refreshments will also be served. For more information and table reservations, call Edna at (714) 847-1173 or e-mail yusokur@prodigy.net.

June 25—The next meeting of the Parkinson Support Group of Little To-

kyo is scheduled for June 25 from 10 a.m. to 12 noon at the Union Church of Los Angeles, 401 E. Third St., Los Angeles. Ms. Melody Ou Young, speech and language pathologist and manager of the Speech Pathology Department at the USC University Hospital, will be the guest speaker for the day. For further information, call Alice at (323) 726-9286 or the church at (213) 629-3876.

June 25- 5:30 to 9:30 p.m. -Maryknoll Karate's Bingo Nite featuring big cash pots, delicious beef teriyaki, free door prizes, kids, activity center, and lotsa fun! Maryknoll Catholic Center, 222 So. Hewitt St., Los Angeles (2 blocks east of Alameda on 2nd St. in Little Tokyo). Bingo players must be 18 yrs. or older to play, but there will be a kid's activities center for those who are under age. For further info contact James Uyeda at (213) 489-6873.

June 25, 26-The Sun Valley Japanese Community Center will hold its annual Obon Festival from 5 to 10 p.m. at the Center, 8850 Lankershim Blvd. Sun Valley. There will be Japanese and other foods for sale. The free event features demonstrations of taiko, judo, karate and kendo clubs, along with ondo, as well as, carnival games, exhibits of calligraphy, tea ceremony, ikebana and sumi-e. For information, call (213) 897-4369.

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heights

#### **Otomisan: The Last Japanese Restaurant in Boyle Heights**

Mike Sonksen July 31, 2012



Otomisan is the only remaining Japanese Restaurant in Boyle Heights. Decades ago the now heavily-Latino neighborhood was home to a large Japanese population, party due to its proximity to Little Tokyo, and there are still traces of that community that remains.

Founded in 1956, the restaurant can still be found at its original location on East First Street, two blocks east of Soto. Fifty-six years later, the warm mojo of the small dining area radiates the Japanese tradition of Boyle Heights and calls you back for another tasty plate.

This is a story of family, food and neighborhood.

Yayoi Watanabe bought the restaurant seven years ago. She had already owned a dry cleaner in Boyle Heights for 15 years on 4th and Fresno. Her 30-year old daughter Judy Hayashi reminisces, "I remember always going next door to Fuji Cafe and getting some good Japanese (like home cooking)."

Fuji Café on 4th Street was one of the last remaining Japanese family eateries in Boyle Heights. When it closed after one of the owners died, Watanabe became motivated to keep Boyle Heights' Japanese tradition alive.

When one of the owners of Otomisan died a few years later and it went up for sale, Watanabe decided to buy the place and keep it open. She didn't want it to disappear like the Fuji Café, which became a Mexican restaurant.

The coziness of the space makes you feel the generations of family that have come through the doors. Between the Japanese retirement home up the street and Boyle Heights locals, the diner-style booths and counter seats stay close to full, serving up family style comfort food -- an authentic mom and pop restaurant alive in the 21st Century.

Judy works with her mother one day a week. Her father was a pioneer in the restaurant supply industry, having introduced hot towels to dining tables around Little Tokyo. Judy -- who grew up with her family in the Virgil Village area, where many Japanese had lived in the 1970s -- spent much of her youth driving with her father from restaurant to restaurant, delivering the hot new product.

Bilingual in Japanese and English with a charismatic demeanor, Judy became well known in the community as an invaluable asset to any place she worked; her versatility made her a face for Little Tokyo. Her success is not surprising, since her mother had also spent much of her time working in Little Tokyo from the 1970s on, until she started her dry cleaner business in Boyle Heights.



Judy Hayashi and her mother Yayoi Watanabe

The connection between Boyle Heights and Little Tokyo runs down First Street. "The Japanese people that worked in Little Tokyo used to live in Boyle Heights," Hayashi says. It was kind of like an extension of Little Tokyo. Even now, there are still Japanese and Nikkei's living in the area."

One of them is her own mother, who lives a few blocks east of the restaurant near the Evergreen Cemetery and the Rissho Kosei Kei Buddhist Temple. Watanabe lives close enough to walk to work. She loves Boyle Heights and won't be moving away anytime soon.

Eastside diners are ecstatic that she's sticking around -- Otomisan serves classic traditional Japanese food in an otherwise mostly Latino neighborhood. The cozy eatery feels like a window that time forgot. The food and ambience leads customers like 38-year-old East Hollywood native Ken Montenegro to keep coming back. On the way out the door before thanking Ms. Watanabe, he told us he's been coming for years now.

Judy reminisces with her mother and shares memories of Little Tokyo. They remember a time when Nisei Week meant that the streets would be virtually impossible to walk through due to the dense crowd of visitors. It was also a place of comfort, a home away from home for many Japanese transplants as well as Japanese Americans.

"I always thought Little Tokyo was a representation of our history here in L.A," Judy says. "It was a place where the people from Japan could still celebrate where they came from and the Japanese culture. I remember walking down the street and all you could hear was mostly the Japanese language. I remember more Japanese restaurants than there are now."

Times change especially in the age of corporate chains and luxury condos. These changes make places like Otomisan that much more important. "I hope we never forget the history behind Little Tokyo and Boyle Heights," Judy says.





Additional reporting and photos by Yosuke Kitazawa

## Los Angeles Magazine https://www.lamag.com/mag-features/the-last-bento-ya-in-boyle-heights-otomisan/



# The Last Bento-Ya in Boyle Heights Transports Diners to the Neighborhood's Past

Otomisan is the last link to Boyle Heights's days as a Japanese enclave By Patric Kuh August 25, 2017

A restaurant like Musso & Frank's can transport you to a different era, but a tiny one like Otomisan in Boyle Heights takes you to a lost world. A few frayed Japanese lanterns hang on the weathered exterior that looks out onto 1st Street, just east of Mariachi Plaza, and a sign on the door reminds anyone coming for the crackling tempura that the place closes nightly at eight. Noren curtains separate the kitchen from a compact dining room, where three tufted maroon banquettes and five backless stools frame a slightly dinged counter.

When the place opened in 1956—the original name was Otomi—the surrounding few blocks were an Eastside Sawtelle, a Japanese American enclave abuzz with grocery stores, churches, temples, social clubs, and

restaurants. In the age-old flux of Boyle Heights, most of those businesses have given way to Latino ones, but Otomisan has become something more meaningful than a holdout; it's a connecting point for those who appreciate a carefully arranged salmon *chirashi* bowl and the comforts of a good combo platter with a breaded *tonkatsu* cutlet, salad, and cut nori-wrapped roll.

Yayoi Watanabe, a native of Hiroshima, has owned the business since 2005, when the last of three previous owners retired. During a recent lunch, I find her jotting down a take-out order from a bus driver who stops in on his days off. Nearby (as all things are in the cozy cubbyhole of a space) 81-year-old Judy Misaka exchanges greetings with a booth of Latino regulars. Permed and smiling, the longtime Boyle Heights resident shifts between decades, from her father being processed for the internment camp at Santa Anita Park to her friendship with Watanabe, who brings her staples from Little Tokyo grocery stores. Time stands still as she talks. Wearing home-team whites, Hideo Nomo is frozen mid-pitch on an old Dodgers poster taped to a wall. The chef, who goes by Negishsan, can be heard frying the tempura, and a few moments later Watanabe has managed to fit it all, even the long green beans, inside a Styrofoam container secured with a rubber band. "This," says the bus driver as he heads toward the door, "is a treat."

First & Central: The JANM Blog

https://blog.janm.org/2018/03/01/a-visit-to-otomisan-the-last-japanese-restaurant-in-boyle-heights/

## A Visit to Otomisan, the Last Japanese Restaurant in Boyle Heights

March 1, 2018 Carol Cheh Community, Japanese American History, Little Tokyo



Owner Yayoi Watanabe greets customers at the counter.

The history of Otomisan Restaurant in Los Angeles's Boyle Heights neighborhood is well documented in the press. It was first opened in 1956 as Otomi Café, by a couple who are remembered today only as Mr. and Mrs. Seto. At that time, Boyle Heights was a melting pot of diverse, working-class immigrant groups that included Jews, Russians, Armenians, Japanese, and Mexicans. The Japanese had begun spilling over from nearby Little Tokyo in the 1920s, at the same time that a critical mass of Jewish migration turned the neighborhood into the largest Jewish enclave west of Chicago. In its early years, Otomi Café was just one of many Japanese establishments in the multiethnic community.

A *Los Angeles Times* profile from 2007 offers this account of the restaurant's bustling business during its first decade: "During the weekends, Japanese people from the neighborhood and throughout LA would have prefectural meetings during picnics at places like Griffith Park and Elysian Park. The restaurant would make bento box lunches, hundreds of them, for the meetings." The clientele was mostly Japanese then, and there was often a wait to get into the tiny eatery.



Inside Otomisan, shortly after the lunch rush.

In the early 1970s, the Setos sold the restaurant to a Mr. and Mrs. Seino, who changed its name to Otomisan. By that time, the neighborhood's demographics were beginning to shift. Many of the various immigrant groups had moved on, and Boyle Heights began to emerge as a predominantly Mexican American community. Then, in the early 2000s, Mr. Seino passed away, and Otomisan closed down for six months. In addition to being the owner, he had been the sole cook. His widow seemed to be on the verge of giving up the place.

Yayoi Watanabe, the owner of a nearby dry cleaner, had other ideas. She felt it was important to maintain a Japanese presence, keep up a Japanese tradition, in the neighborhood. She convinced Mrs. Seino to sell the restaurant to her, and she has been running it ever since.



Just a few of the objects that decorate the walls and counters.

A group of JANM staffers recently paid a visit to this historic restaurant. It still sits in its original location on First Street near Soto. The place is remarkably small; there are only three booths and a handful of stools at a short bar. Walking into it does feel like going back in time; the furnishings look original, and vintage pictures and knickknacks are pleasantly cluttered everywhere. Watanabe was working behind the counter, as she always does. Behind her in the small kitchen, a lone cook filled all the orders.

We ordered from the menu of classic Japanese comfort dishes: tempura, beef cutlet, *chirashi* bowl, *oyakodon*, croquettes, soba noodles. The amiable Watanabe confirmed that the offerings had not changed much since the 1950s; the most recent addition was

probably the curry, and that happened in the 1970s. She wanted to stay as close to the original offerings as possible. When our entrees came, we all marveled at how good the food was and how home-cooked it tasted. It felt like we were hanging out in our grandmother's kitchen—the most nourishing of places. A steady flow of people came in and out of the place while we were there, some looking like they were regulars. The clientele was diverse: Mexican, Japanese, Caucasian.



A combo platter with their famous tempura and a tasty beef cutlet.

When asked if she had any news for our readers, Watanabe thought of her impending hire of a second cook, which is indeed significant given the restaurant's long history of operating with just one. Perhaps the real news here, however, is simply that Otomisan still stands, serving

comforting and authentic Japanese diner food to a diverse clientele much as it always has, even as the world around it continues to change.

Otomisan is located at 2506-1/2 East 1st Street in Boyle Heights.

To learn more about the history of this neighborhood, be sure to visit the archival site for JANM's 2002 exhibition, The Power of Place: Boyle Heights Project.



Until next time!



There are two ways to request a copy of the document image.

1) By fax using the request form. Click on the following link

http://www.ladbs.org/permits/permit\_related\_forms/Research\_Request\_form.pdf to download the request form.

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#### COUNTER HOURS

MONDAY, TUESDAY, THURSDAY, FRIDAY: 7:30 AM to 4:30 PM WEDNESDAY: 9:00 AM to 4:30 PM

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| 1st Floor, Room 110  | Record Counter     |
| Record Counter       | Van Nuys,CA 91401  |
| Los Angeles,CA 90012 |                    |

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PLANS AND SPECIFICATIONS and other data must also be filed

BOARD OF PUBLIC WORKS

#### DEPARTMENT OF BUILDINGS ...

#### Application for the Erection of Frame Buildings CLASS "D"

To the Board of Public Works of the City of Los Angeles?

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinstance set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit.

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alloy, or other public place or pertion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

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PLANS AND SPECIFICATIONS and other data must also be filed

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BOARD OF PUBLIC WORKS

#### DEPARTMENT OF BUILDINGS

#### Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are northy agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit.

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be problinted by declaration of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

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All Applications Must be Filled Out by Applicant

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BOARD OF PUBLIC WORKS

#### DEPARTMENT OF BUILDINGS

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To the Seard of Public Works of the City of Los Angeles.

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First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public pince or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

|   |  | REMOVED FROM                                 | 11   |   |  |                               |
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| TAKE TO   | Lot  | Block  | Lo   |   | Block  |                               |
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| VERIFY  | Address  |  |  | ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,  |  |                               |
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|   | name.  | 1 Comment                                    | SHARMAN  | -   | Phone  | ****************              |
| 4. Owner's  | address  | 508  | 0 /  |   |  |                               |
| 5. Architec   | t's name   | U  | )  | · · · · · · · · · · · · · · · · · · ·   | Phone  |                               |
|   | tor's name   | 1  |  | 1   | Phone  | 1 22                          |
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|   | or's address   |  | I Including Plumb  | nr. Gas Fitting, See  | (are ) 7   | 2 4 00                        |
| . VALUA   | TION OF PE   | ROPOSED WORK                                 |  |   |  |                               |
|   |  | 20   | all Labor, etc.  | ng, Gas Fitting, Second Painting, Finish  | sing   5   | - Karramaniana                |
| Class of  |  | ing P  |  |   |  |                               |
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| . Will all provisions of St  | tate Housing Act be complied with?   |         |
| I have carefully exa<br>that all provisions of the<br>whether herein specified | amined and read the above application and know the same is true and contraction will be completed for not.   | olied o |
|  | (Sign here) (Owner or Authorized Agont.)   | 10      |
| F  | OR DEPARTMENT USE ONLY   |         |
| APPLICATION  | O.K. ()  |         |
| CONSTRUCTION   | V O.K. 178   | ٠.      |
| ZONING   | 0.K.()   | 12      |
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| FIRE DISTRICT  | о. к. Д  |         |
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BUILDING DIVISION

and other data must also be filed

## DEPARTMENT OF BUILDING AND SAFETY

### Application to Alter, Repair or Demolish

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| portion thereof,<br>Second: 7<br>portion thereof,<br>Third: Th<br>described in suc | R  | does not tee permit;<br>alley, or other public;<br>does not grant any rig<br>does not grant any ri<br>that is, or may hersaft<br>of the permit does not<br>EMOVED FROM | place or porti<br>ght or privil<br>er be prohibl<br>affect or pr | on thereof.<br>ege to use<br>ited by ord<br>sludies an: |                   | other struc<br>y of Los And<br>to, or right   |   | described, or                                  | perty       |
| TAKE TO<br>ROOM No. 6<br>REAR OF<br>NORTH<br>ANNEX                                 | Tract  | Block  |  | Tract   |                   |   |   | o. K. City Clean                               | 40          |
| CITY CLERK PLEASE VERIFY TAKE TO RST JLOOR 242 SO. BROADWAY ENGINEER PLEASE VERIFY | Book   | Page F.B.F<br>23-3-24 &<br>3-true  | nath   | ita   | ent of            | chi   | Str   | and the second                                 | Potesty .   |
| 2. What put 3. Owner's 4. Owner's  | name   | present Building now<br>ailding be used for h<br>Tanica ) ¥  | used for /<br>ereafter?  | thi   | Stor              | ePb   | one   |  | ******      |
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| that all   | ve threfully<br>provisions of  | Considerate of the Ordinances and  | F-fl   | applicatioverning                                       | To Marie          | the same                                      | lis true and                                    | l correct, a                                   | and ith,    |
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| PERMIT 469   | No. 4  | Plans and Specification<br>and found to conform<br>nances. State Laws. et  | checked<br>to Ordi-  |   | checked and St    | 1 5   | FEB 19  | 1927<br>) []                                   | 1. 612 LONG |

| Material of foundation Size of Redwood Madella | Size of inter Dearing of the below ground  |
|--|--|
| Size of exterior stude                         | Size of perfect non-bearing stude  |
| Size of first floor justs 2                    | Second floor joists  |
| Will all provisions of State Housing           | Act be complied with?  |
| whether herein specified or not.               | read the above blank and know the same is true and cores and Laws governing Building Construction will be complete and Laws governing Building Construction will be complete and Laws governing Building Construction. |
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| APPLICATION                                    | O.K.   |
| CONSTRUCTION                                   | 0. K. M  |
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| ORD. 33761 (N. S.)                             | о.к. 🔊 /   |
| FIRE DISTRICT                                  | О.К. Ут.   |
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All Applications Must be Filled Uut by Applicant

PLANS AND SPECIFICATIONS

Bldg. Form \$

BUILDING DIVISION

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#### DEPARTMENT OF BUILDING AND SAFETY

#### Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles.

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building parmit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the parmit:

First That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any aircet, aliey, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in the property of the control of the city of Los Angeles.

REMOVED TO Clerk Lot. TAKE TO city ROOM No. 248 (2ND FLOOR) CITY CLERK PLEASE TAKE TO ROOM No. 5 (MAIN ST. FLOOR) ENGINEER PLEASE (USE INK OR INDELÌBLE PENCIL) What purpose is the present Building now used for? What purpose will Building be used for hereafter? ...... 2. Phone Owner's name ..... To you Owner's address.... 4. 5. Architect's name ....... Phone .... Contractor's name .... To stande 6. Phone A 7. Contractor's address..... (Including all Material, Labor, Finishing, Equip-VALUATION OF PROPOSED WORK 8. ment and Appliances in Completed Building. Class of present Building \_No. of rooms at present. Number of stories in height ...... Size present Building State how many buildings are on this lot .... .. ctore State purpose buildings on lot are used for ... (Apartment Flouse, Hotel, What Zone is Property in? STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING: I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not. AN OVER (Sign here)\_\_\_\_

FOR DEPARTMENT USE ONLY Plans and Specifications checked and found to conform to Ordi-nances, State Laws, etc. PERMIT NO. क्षेत्र कि कि 1528 Plan Examiner Pine

| Size of new additionx   | footings   | e wallDepth be   | low ground      |
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| Size of exterior stude 2 x  | - W  | interior non-bearing stude   | X               |
| Size of first floor jointsx   |  | The state of the s |                 |
| Will all Lathing and Plastering Com   |  | DAAA   |                 |
| Will all provisions of State Housing  |  | 1 4.0 4-1  |                 |
| I have carefully examined and a<br>hat all provisions of the Ordinance<br>whether herein specified or not.                                      | read the above blank<br>and Laws governing<br>(Sign he   | Building Construction v  | true and compli |
|   | (Sign ne   | Owner or Authoris  | sed Agent)      |
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| APPLICATION   | о. к.  | 12-  |                 |
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All Applications Must be Filled Out by Applicant

Bldg. Form 1

BUILDING DIVISION

PLANS AND SPECIFICATIONS and other data must also be filed

# 3

#### DEPARTMENT OF BUILDING AND SAFETY

#### Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Bafety Commissioners of the City of Los Angeles. through the office of the Superintendent of Building, for a building parmit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or projudice any claim of title to, or right of possession in, the property described in such permit.

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| TAKE TO<br>ROOM No. 248  | Tract  | Tract  | 1 0            |
| (2ND FLOOR)  |  |  | ×              |
| PLEASE   |  |  | 0 4            |
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| ROOM No. 5<br>(MAIN ST.<br>FLOOR)<br>ENGINEER<br>PLEASE<br>VERIFY  | Book Page F. B. Page From No. 25 Of From Pro-No. 25 Of From Out of The Page Ou | Book Page F. B. Page Street  9   | O. K. City E.  |
| 1. What pur  | pose is the present Building now used for  | flore  |                |
|  | oose will Building be used for hereafter?  |  | 1000           |
|  | ame J Mossmagh   | Phone  |                |
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| 10. Number o<br>11. State how<br>12. State purp  | nany buildings are on this lot   | e present Building   | **********     |
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|--|--|--|
| Size of new addition   | No. of Stories in height   |  |
| Material of foundation   | Size footingssize wallDepth l  |  |
| Size of Redwood Mudsills.  | Size of interior hearing studs.  | A 16   |
| Size of exterior studs   | Size of interior non-hearing s   | ludsX  |
| Size of first floor joists   | 117.   | and the second   |
|  | ering Comply with Ordinance?  Housing Act be complied with?  |  |
| I have carefully exami<br>that all provisions of the (<br>whether herein specified o | ned and read the above blank and know the same redinance and Laws governing Building Construction root.              | -20.77   |
| 1  | R DEFARTMENT USE CIVET   | * (htt)  |
| APPLICATION  | 0. K.  |  |
| CONSTRUCTION   | O.K. / :   | 1  |
| ZONING   | О.К.   |  |
| SET-BACK LINE  | O.K.   |  |
| ORD. 33761 (N. S.)   | 0.K.   |  |
| FIRE DISTRICT  | О.К.   |  |
|  | REMARKS  | tis acoliection  |
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#### CITY OF LOS ANGELES

## DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

#### Application to Alter, Repair, Move or Demolish

To the Ecard of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintenden; of Building for a building permit in accordance with the description and for the purpose hereinature set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit does not permit does not great any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any attreet, alley or other public place or portion thereof, seconds. That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third That the granting of the permit does not a pred to prejudice any elaim of title to, or right of possession in, the property described in such

|  | REMOVED FROM                   | -                                    | REMO   | OVED TO         |   |
|--|--------------------------------|--------------------------------------|--|-----------------|---|
| t.,                                    |                                | Lot                                  |  |                 |   |
|  |                                |                                      |  |                 |   |
| act                                    | -                              | Tra                                  | et   | ·               | .,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,, |
|  | 2506                           | 6.1                                  | 1 21 11  |                 |   |
| building                               | 2000                           | (House Number and                    | 14-160   | ]               |   |
| ew location }                          |                                | (moste Aramat) and                   |  | 6               | pproved by                              |
| philiqina }                            |                                | (House Number and                    |  |                 |   |
| etween what }                          | TICKet+                        | 4 016                                | lathekis.  |                 | Deputy                                  |
|  | G                              | ocery Store                          |  |                 |   |
| Purpose of                             | Treespitt nauging"             | corrections from Court Court of From | Te, Hotel, or any other purpo  | miliesRo        | oms                                     |
| Use of buil                            | ding AFTER alteration          | n or moving Out                      | The Fa   | miliesRo        | oms,                                    |
| Owner (Prio                            | Name) //C · /                  | ushya                                | no on  | Phone.          |   |
| Owner's A                              | ddress 250                     | 6 0B                                 | 101  | A.              |   |
|  | Architect                      | Hore                                 | State  |                 | *************                           |
|  |                                | Worl                                 | State -  |                 |   |
| Licensed E                             | ngineer                        | Uni                                  | State  | Phone           |   |
| Contractor                             |                                | 3                                    | License No   | Phone           |   |
| Contractor                             | s Address                      | non                                  |  | 500             | zena.                                   |
| VALUATI                                | ON OF PROPOSED W               | Including all lighting, heath        | abor and material and all p<br>ng. vehillating, water supply<br>tier, electrical wiring and/or<br>rein for thereon.  | plumb-          |   |
| *** ********************************** | my buildings NOW }             | dequipment the                       | relator thereon.   | Res -44         | A                                       |
| on lot and giv                         | re use of each.                | W/                                   | , Hotel, Apartment Bouse, or   |                 |   |
|  | -                              |                                      | ories highHe   | -6              | oint                                    |
| Class of bu                            |                                | rial of existing wa                  |  | ior framework   | (Wood or Stee                           |
| Describe b                             | riefly and fully all pro       | posed construction                   | and work:  |                 | i.                                      |
| R                                      | det charge                     | 1 2/000                              | 60 000011  | /               | ,                                       |
| , and                                  | rar jeuva                      | u vaiu                               | 75 100000  |                 |   |
|  |                                | <i>(</i> )                           | 1941   |                 | ,                                       |
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|  |                                |                                      |  |                 |   |
| 10/2                                   | Fill in App                    | lication on other                    | Side and Sign States   | qent            | (OVER                                   |
| 119/31                                 | X HULFOR DEF                   | ARTMENT USE                          | ONLY .   | 2.50            | 5 ×                                     |
| PERMIT NO                              | Plans and Spicifications shall | ied Zglas 2                          | Fire District  |                 | 7                                       |
| 0                                      | 11-1 Phaller                   | 1 100                                | No. 160  | Permit la feque | . ·                                     |
| 38174                                  | Carrettes surper               | - mile. 130                          | Street Widealag  |                 |   |
| 0 6                                    | Plans, SpeyGentians and As     | plications Application ch            | ecked and soproyed   | NOV On its      | j.                                      |
| PLANS                                  | Treatient of approve           | 11/22/3                              | 7 What and   | NOV 22 153      | 7                                       |
| PLUATION                               | 1                              | - Land                               | The second secon | aspação,        |   |
|  | For Plant See   Files          | Remired                              | Speciard   |                 | 515 N                                   |

#### PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION se of Lot 32 x 123 Number of Stories when complete. Material of Foundation Coments. Width of Footing & Anche Depth of footing below ground Width Foundation Wall & freehan Size of Redwood Sill ... Z Size of Interior Bearing Studs Joists: First Floor Second Floor .... I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws. Sign Here.. FOR DEPARTMENT USE ONLY Application Fire District Termite Inspection Forced Draft Ventil (1) REINFORCED CONCRETE The building (and, or, addition) referred to in this Appli-cation is, or will be when moved, more than 100 feet from Barrels of Cement Tons of Reinforcing Steel (Owner or Authorized Agent) (8) No required windows will be ob-There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width. Sign Here. (Owner or Authorized Agent) er or Anthorised Agent's REMARKS: ....

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### APPLICATION TO ALTER, REPAIR

CITY OF LOS ANGELES BUILDING AND SAFETY

RUHDING DIVISION

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| New constitution with a company of the property of the constitution of building Entween what cross streets to building Entween what cross streets to building and beautiful and the constitution of the consti | From   |  | To<br>Lot  |  |  |                             |
|--|--|--|--|--|--|-----------------------------|
| NEW CONSTRUCTION  1. Size of Addition  1. VALUATION OF PROPOSED WORK  1. Size of Cocks they building a Now Board of Stories when complete some stories and and reverse or building. The stories of the stories and | Tract  |  | Tract  |  |  |                             |
| EXECUTE IN OR INDELIBLE PENCH  1. Present use of building and the present of the purpose of the  | Present location<br>of building<br>New location<br>of building | }  | RIT ST.<br>(House Number and Str.  | eet)   |  | approved by<br>ity Engineer |
| 1. Present use of building these Devilles, Apartment House, foot of the purpose) 2. State how long building has been used for present occupancy. 3. Use of building AFTER alteration or moving   | cross streets  | 1 "  |  |  |  | Depart                      |
| 2 State how long building has been used for present occupancy  2 State how long building has been used for present occupancy  4 Owner Milk VI Shi / Milk Phane  5 Owner's Address Loss E D State  6 Certificated Architect  7 Licensed Engineer  8 Contractor  9 Contractor's Address  10 VALUATION OF PROPOSED WORK  11 State how many buildings NOW   Milk Phane part natural and sile presents   State   Discussed Engineer  12 State how many buildings NOW   Milk Phane part natural and sile presents   State   Discussed Engineer  13 State how many buildings NOW   Milk Phane part natural and sile presents   State   Discussed Engineer  14 State how many buildings NOW   Milk Phane part natural and sile presents   State   Discussed Engineer   Discussed Engineer   Discussed Phane   State   Discussed Phane   Discussed  |  |  | me dt .  | , m. n   | D  |                             |
| 3. Uso of building AFTER alteration or moving Partilles Rooms 4. Owner Mile All Shi Matter 5. Owner's Address 2808   155 (Grief Name) 5. Owner's Address 2808   155 (Grief Name) 7. Licensed Engineer  |  | (Store, Dwelling, Apr  | ariment House, Hotel or  | other purpose)   |  |                             |
| 5. Owner Address Lee B. State 6. Gertificated Architect 7. Licensed Engineer   |  |  | 01   |  |  | 11.7                        |
| 5. Owner's Address ## State   State   License No.   Phone    6. officialided Architect   License No.   Phone    7. Licensed Engineer   License No.   Phone    8. Centractor   State   License No.   Phone    9. Centractor   Address    10. VALUATION OF PROPOSED WORK   International property    11. State how many buildings NOW   International property    12. Size of centractor walls   International property    13. Material Exterior Walls   International property    14. Describe briefly all proposed construction and work:    15. Size of Addition   X   Size of Floor   Size of Floor    16. Size of Floor   State    17. Size of State   X   Material of Floor   Size of Ratters    18. Footing: Width   Depth in Ground   Width of Walls    19. Footing: Walls   Walls   Walls    19. Footing: Walls   Walls   Walls   Walls    19. Footing: Walls   Walls   Walls   Walls   Walls    19. Footing: Walls   Walls   Walls   Walls   Walls    19. Footing: Walls   Walls   Walls    | -3. Use of bull  | ding AFTER alteration or n   | noving for   | Famil  | iesRoor  | ns                          |
| State  Idense No. Phone  State  Contractor  Contractor's Address  Contractor's Address  Contractor's Address  Contractor's Address  Contractor's Address  Contractor's Address  Instituting all labor and material and all permanent lighting, besting, resting ventilating, weight supply, phumber of collaboration of lot and give use of each  College the results of the supply that the college the results of the supply phumber of stories high Height fo highest point.  NEW CONSTRUCTION  NEW CONSTRUCTION  Size of Addition.  New Construction and work:  New Construction and work:  New Construction and work:  New Construction and work:  New Construction with the college and belief the above application is correct and distribution of the Labor Code of the State of California relating to construction work will comply with all laws, and that in the doing of the work authorized I will not employ any person in violation of the Labor Code of the State of California relating to construction work will comply with all laws, and that in the doing of the work authorized I will not employ any person in violation of the Labor Code of the State of California relating to construction work will comply with all laws, and that in the doing of the work authorized I will not employ any person in violation of the Labor Code of the State of California relating to construction will be more than 100 ft of the Labor Code of the State of California relating to construction will be more than 100 ft of the Labor Code of the State of California relating to construction will be more than 100 ft of the California and supplies of the State of California rela |  |  |  |  |  |                             |
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| S. Contractor's Address  1. Contractor's Address  1. O. VALUATION OF PROPOSED WORK  1. State how many buildings NOW   Claiming and the contract of the contract of social contract of so | 7. Licensed Er   | gineer   |  | License No   | Phone  |                             |
| 10. VALUATION OF PROPOSED WORK  11. State how many buildings NOW (life, first principler, electrical and all permanent)  12. Size of casisting buildings NOW (life, first principler, electrical wirting and elevator)  13. Material Exterior Walls (Weed, Steet or Masonry)  14. Describe briefly all proposed construction and work:  15. Size of Addition   | 8. Contractor  | ***  |  | License No   | Phone  |                             |
| State how many buildings NOW on lot and give use of each (Blore, Deciling, Apartment House, Rotel or other purpose)  12. Size of existing building (Wood, Steat or Masonry)  13. Material Exterior Walls (Wood, Steat or Masonry)  14. Describe briefly all proposed construction and work:  15. Size of Addition X Size of Lot X Number of Stories when complete RE Footing: Width. Depth in Ground Width of Wall Size of Floor Joists. The Footing: Width. Depth in Ground Width of Wall Size of Roofing. Width to the best of my knowledge and belief the above application is correct and the building or construction work will comply with all laws, and that in the doing of the work authorized I will not employ any person in violation of the Labor Code of the State of California relating to the complete any person in violation of the Labor Code of the State of California relating to the many of the Complex any person in violation of the Labor Code of the State of California relating to the Complex any person in violation of the Labor Code of the State of California relating to the Complex any person in violation of the Labor Code of the State of California relating to the Complex any person in violation of the Labor Code of the State of California relating to Compensation Insurance.    Sign here   Compensation William   Compensation   Compens | 9. Contractor's  | Address  | . Including all labor as   | d material and all per   | rmanent) / >   |                             |
| Size of existing building NOW (Blore, Deciling, Apartment House, Rotel or other purpose)  12. Size of existing building (Wood, Steel or Masonry)  13. Material Exterior Wells (Wood, Steel or Masonry)  14. Describe briefly all proposed construction and work:  15. Size of Addition X Size of Lot X Number of Stories when complete Reforming Width Depth in Ground Width of Wall Size of Floor Joists.  16. Size of Addition X Depth in Ground Width of Wall Size of Floor Joists.  17. Size of Studes X Material of Floor. Size of Ractings X Type of Roofing.  18. I hereby certify that to the best of my knowledge and belief the above application is correct and thoulding or construction work will comply with all laws, and that in the doing of the work authorized it will not employ any person in violation of the Laber Code of the Stafe of California relating to the complex may person in violation of the Laber Code of the Stafe of California relating to Compensation Insurance.  10. Sign here (Compensation Will be more than 100 ft Connected Agent)  11. FLAN CHECKING (2) REINFORCED (3)  12. The building referred to in the Bils. Comment Compensation Insurance (Compensation Sign here Correction Welferd (Connected Steel) Sign here (Connecte | 10. VALUATIO   | N OF PROPOSED WORK   | lighting, heating, ven   | tilating, water supply,<br>lectrical wiring and  | plumb-   |                             |
| 12. Size of existing building Number of stories high Height to highest point.  13. Material Exterior Walls (Wood, Steat or Masonry)  14. Describe briefly all proposed construction and work:    NEW CONSTRUCTION  | GT State bond m  | and hottellare NOW) . 624  | e attere   | meredit.   | Barlan Sha   | /                           |
| Material Exterior Walls  (Wood, Steat or Masoury)  14. Describe briefly all proposed construction and work:  NEW CONSTRUCTION  15. Size of Addition  Size of Lot  Number of Stories when camplete  16. Footing: Width  Depth in Ground  Width of Wall  Size of Floor Joists  17. Size of Studes  Material of Floor  Size of Rafters  Type of Roofing  I hereby certify that to the best of my knowledge and belief the above application is correct and the building or construction work will comply with all laws, and that in the doing of the work authorized is will not employ any person in violation of the Labor Code of the State of California relating to men's Compensation Insurance.  Sign here  Sign here  Connect Conference of Authorized Agent)  By  FOR DEPARTMENT USE ONLY  (1) PLAN CHECKING  (2) REINFORCED  (3) The building referred to in the plication will be more than 100 ft.  Connect Conference of Authorized Agent)  For Polit S  For Polit S  Connect Conference of Authorized Agent Security Lot November Lot Keyes  FERMIT No.  Figure Specifications therefore  Application checked and approved Fermil is Insurance.  Application checked and approved Fermil is Insurance.  Applications Security Lot Course (Laws Course)  Application checked and approved Fermil is Insurance (Laws Course)  Course (Laws Course)  Applications Security Lot Course (Laws Course)  Course of Authorized Laws Course (Laws Course)  Figure Security Lot Course (Laws Course)  Course of Authorized Laws Course (Laws Course)  Course of Authorized Laws Course (Laws Course)  Course (Laws Course)  Course of Authorized Laws Course (Laws Course)  C |  |  |  |  |  | fire-te-truit               |
| NEW CONSTRUCTION  NEW CONSTRUCTION  15. Size of Addition  New Construction and work:  New Construction  New Construction |  |  |  |  | AND DESCRIPTION OF THE PARTY OF | at                          |
| NEW CONSTRUCTION  15. Size of Addition   | 13. Material Ex  | terior Walls   | M. Steel or Masonry)   | Exteri   | or framework   | Wood or Steel)              |
| NEW CONSTRUCTION  15. Size of Addition   | 14. Describe bri   | lefly all proposed construction  | on and work:   |  |  |                             |
| 15. Size of Addition X Size of Lot X Number of Stories when complete RE Footing: Width Depth in Ground Width of Wall Size of Floor Joists 17. Size of Studes X Material of Floor Size of Rafters X Type of Roofing I hereby certify that to the best of my knowledge and belief the above application is correct and the building or construction work will comply with all laws, and that in the doing of the work authorized to will be temploy any person in violation of the Labor Code of the Stafe of California relating to the compensation Insurance.    Sign here  |  | *****  |  |  |  |                             |
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| CONCRETE Bbls. Cement  |  |  | The same of the sa | the last control of the control of t |  |                             |
| Tons of Reinforcing Steel Sign here  Sign here  Owner or Authorized Applications Checked Application Correction Verified  Plans Specialization and Application Control of Contro |  | AN CHECKING  | Bbls.  | The bui  | lding referred to  | in this Ap-                 |
| TYPE GROUP Maximum is Inside Lot Key Lot Lot Size Feet rear alley  Occupants Corner Lot Keyed  Fire District Map No.  District Map No.  Correction Verified  Plans Specializations and Application  Application checked and approved  Fire District Map No.  Correction Verified  Application checked and approved  Fermit is inseed  FLANS  Continuous SPRINKLER  | Valuation \$   |  | 1  |  |  | Street                      |
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| PERMIT No.  Plans and specifications checked  Zone  Zone  Zone  Zone  Zone  Jirc District  Map No.  District  Map No.  Correction Verified  Application checked and approved  Frank Special substantian  Plans Special substantian  Continuous  SPRINKLER  Continuous  SPRINKLER  | TYPE GROUP   | Occupants Inside Lot   | Key Lot  | Lot Size   |  | 1000                        |
| Correction Verified  Lidg, Line, Street Widening  Application checked and approved  Frank Special substantial Application  Frank Specia |  |  | Corner Lot Keyed   | 2  |  |                             |
| Correction Verified  Lidg, Line Street Widening  Figure Form Specialization and Application checked and approved  Figure Specialization and Application  Figure Formit is fixed  Figure Formit is fixed  Figure Formit is fixed  Figure Formit is fixed  Fixed Specialization and Application  Fixed Specialization and Application and Application  Fixed Specialization and Application and  | PERSON No. 1   | Flans and specifications checked   |  |  | The state of the s | -                           |
| Correction verified  Application checked and approved  Plant Special although and Application checked and approved  Plant Special although and Application  Plant Special although and Application  Continuous SPRINKLER   | . Landing  |  |  |  |  |                             |
| Plans Special super and Application checked and approved Fermit is issued Francis and application Clerk  PLANS  PLANS  Continuous SPRINKLER  | ()   | Correction Verified  | mag. Life  | "Admin Fee" Strikes  | Fee.   | -                           |
| PLANS CHARLES SPRINKLER  | 13182  |  | Application checker  |  | Permit is Iss  | med.                        |
| PLANS CHARLES SPRINKLER  |  | Plane Special ather and Application  | 1  | 1946   |  | 1000                        |
| The state of the s | PLANS  | AMALI VI   | min  | Clerk  | - "- n let -   | b de                        |
| The Park Lee   Flied with   Inspection   Specified Required   Inspector  |  | 1.000000   | Centinuous<br>Inspection   |  | Inspector  |                             |

-E. 127 of 2506. 35 Adding Octor to Glass provide chooks ! 41-50 15 15 Pages 94ms MANS 111 2. ī

alter a 15 fee

## 3

# APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

BUILDING AND SAFETY
BUILDING DIVISION

|        | -       |   | 4                      | 4                         |  |   |  |
|--------|---------|---|------------------------|---------------------------|--|---|--|
| Lot    | No.     |   |                        |                           | · · · · · · · · · · · · · · · · · · ·        | May 17 17 7 4 18 14 14 14 14 14 14 1        |  |
| Tra    | ct.     |   |                        | and project of the second |  |   |  |
| 12     | Ģ.      | of Building 2506 2                                    | 6.0                    | Firet                     | at.  | 1   | Approved by  |
| Loca   | alior   | of Building   | (House                 | Number and S              | (reef)                                       |   | ty Engineer  |
| ri     |         | what cross streets mallo                              | ws of to               | Til at                    | 1 st   | (:  |  |
| . 37   | 4 7     | [전경 경기에 있는 경기 경기 경기 등은 기계를 가지 않는 [20]                 |                        |                           | 17.  | }   | Degraty.   |
| · Amer |         | K OR INDELIBLE PENCIL                                 | •                      | i) 175                    |  |   | II these   |
| . 1.   | Pres    | ent use of building                                   | reinne Apartment       | Moune, Matel or           | other purpose                                | nilies R                                    | ooms   |
| 2.     | State   | e how long building has be-                           | en used for pre        | sent occupar              | ey.  |   |  |
| 3.     | Use     | of building AFTER alteration                          | n or moving            | 7000                      | 5574 3 Far                                   | nilies R                                    | ooms.  |
|        |         | M. rishey.  |                        |                           | 1  | hone  |  |
| 5.     | Own     | er's Address 25 12 1                                  | E Print Mine           | T it                      | P. O.  |   | and I carried  |
| 4.4    | 200     | ificated Architect                                    | -                      |                           | State<br>License No.                         | Phone                                       | -  |
|        |         | nsed Engineer   |                        |                           | State .<br>Lucense No                        | Phone                                       |  |
|        |         | tractor Summer  | د_                     |                           | State .<br>License No                        | Phone                                       | as attended.   |
| 1.0    | 11      | tractor's Address                                     |                        |                           | Maketine 600                                 | Jacob III                                   | - 112  |
|        |         | - X - +   | Include                | ag all labor and          | material and all pere                        | ament . 5                                   | TO SAFE  |
| 19     | AVI     | LUATION OF PROPOSED                                   | THE ST                 | a sarrabler : see         | ating, water supply a<br>ricition wiring and | and and                                     |  |
| lu.    | State   | thow many buildings NOW !                             | , 2                    | tares sy                  | Hemy Has                                     |   | when High  |
| 4      |         | ot and give use of each.                              | 1/2-1                  |                           | g. Apartment House, F                        |   |  |
|        |         | of existing building A-exercist Exterior Walls.       | w new 7                | a stories nig             | Le Exterior fra                              | it to nighest po                            | ant  |
| 10.    | Mat     | erial Exterior Walls. 20-342                          | Wood Steel of          | Majorry                   | - Exterior ira                               | mework                                      | ood or Steel   |
| 14.    | Des     | cribe briefly all proposed con                        |                        |                           | 4  | 1 .1  | . 4111   |
| 2 20   | H       | one side of   | reall below            |                           | ston to                                      |   | metal Late   |
| 202    | 3.4     | and placed  | and in                 | 1                         | 4 / / "                                      | elf.  |  |
| 2      | -2      | darlet to be to                                       | mit with               | wart 6                    | sever to re                                  | tragele                                     | eron my  |
| E      | 1       |   | The fi                 | am 14                     | And the                                      | 4.4   |  |
| F      | RECEIPT | the second  | NEW                    | CONSTR                    | LICTION                                      | S 34 40 40 40 40 40 40 40 40 40 40 40 40 40 | A 9 WW 1997 A  |
|        | 3       | 15. Size of Addition                                  | x Size of              |                           |  | Stories when co                             | omplete  |
| 1      | 5       | 16. Footing: Width I                                  | Depth of Groun         | nd Wid                    |  | Size of Floor J                             | - CONTROL OF THE PROPERTY OF T |
| 1      | BATE    | 17. Size of Studsx.,                                  | Material of Flo        | of Si                     | of Rathers                                   | Type of F                                   | looning  |
| 1      |         | I hereby certify that                                 | to the best of n       | y knowledg                | e and belief the                             | above applicat                              | ion is correct   |
| 11     | ISSUED  | and that this huilding or<br>the work authorized ther | eby I will not         | employ any                | person in violati                            | on of the Labo                              | the soung of   |
| 11     | E       | State of California relation                          | ng to Workmen          | & Compensa                | tion Insurance.                              | 1   | /  |
|        | H       |   |                        | Sig                       | no here all Lit                              | Karaka AMARIEM                              | Arent  |
|        | 12      | DISTRICT<br>OPFICE                                    |                        | By                        |  | atal  |  |
|        | M       |   | FOR DEP                | ARTMENT                   |  | 7   |  |
| 1      | 2       | PLAN CRECK  | ING                    | OCCUF                     | ANCY SURVEY                                  | Investigation F                             | 10 5/12  |
| .:     | 13      | Valuation \$ 200                                      | 414   E. H.   10   444 | . Area of                 | Bldg Sq Ft                                   | Occupancy Fee                               |  |
| 1      | 3       | red 1/=-  |                        | Fee                       | 3  | Bldg Permit                                 | 1250   |
| 2 2    | RECK    | Occupants   | iselde lai             | es Los                    | Loc line                                     | TURNET MEY                                  | - Carre  |
|        | Š       |   | Corner Lat             | STREET KOYES              | 1/   | The stay                                    |  |
|        | 1       | GROUP THE THE   | hero threket           | 7-7                       | Pite District & E                            | - 7-  | 1 2 2  |
|        | Š       | 3 MICHA   | 7                      | Me. Line                  | Street Widenian                              | Nap Ye.                                     |  |
|        |         | for hand tre Williams and reg                         | tin                    |                           |  | 111   | 37   |
| 1      | COD     | YENDY   | 4                      | Continuous<br>Languagues  | SPRINKLER                                    | 1   |  |
|        | 30      | Piled with A Pine Specification                       | red.                   | Lampaction                | Perified Required                            | 1   | ·  |
|        |         |   |                        |                           | 13 Yes No                                    | 1/50  | 2  |
|        |         |   |                        |                           | OW THIS LINE                                 | /   | <u> </u>   |
|        | 18      | TYPE OF RECEIPT                                       | DATE ISSUED            | TRACEK NO                 |  |   | PEX PAID   |
|        | 2 2     | Plen Checking   | APR 2831               | 144                       | 14 486                                       | 9   |  |
| 1      | À.      | Supplemental Plan Checking                            | 1.2                    |                           |  |   |  |
| 1      | "       | Building Permit                                       | APR 2051               |                           | TA 62  | 14.   |  |
|        | 1 1     |   | IN IL AU 4             |                           |  |   | Mark Control of the Control  |

# APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

BUILDING AND SAFETY BUILDING DIVISION

|     | Lot   | No      |              |   |   |   |          |   |                   |              |     |
|-----|-------|---------|--------------|---|---|---|----------|---|-------------------|--------------|-----|
|     |       |         |              |   |   |   |          |   |                   | -            |     |
| 770 | Loca  |         | of Building  | 2504 x  | 2506 X  | 25-06-2   | - 7      | F. Fin  | 1)6               | poroved by   |     |
|     | Betw  | reen    | what cross   | streets in it   | there.  | June June   | ied      | cett  |                   | Deserte      |     |
| - 1 |       |         | 1.5          | ELIBLE PENCIL   |   | -   |          |   | - 1               | Deput.       |     |
| 4   |       |         |              | wilding Bas   | ber show  | House, Hotel or o   | dur p    | Carefully   | Howete R          | ooms         |     |
|     | 2. 5  | State   | e how long   | building has bee  | en used for pro   | esent occupan   | y        | _   |                   | 2000         |     |
| j   |       |         |              | AFTER alteration  |   | comments on a series of   | 71       | Family  | es R              | ooms         |     |
|     |       |         |              | efec. 1   | A Therefore In the Contract of                                | the the   |          | . Pho   | ne                | -            |     |
|     |       |         |              | 2510-   | 60.00   | A. 181  | P. O     |   |                   | - rahter     |     |
|     |       |         | ificated Are | - 4   | 1   |   | State    |   | Phone             |              |     |
|     |       |         | nsed Engine  | Some s  | Mr  |   | State    |   | Phone             |              |     |
|     | 100   |         | ractor's Ad  | dress   |   |   | Ticen    | se No.  | Phone             | SIB          |     |
|     |       |         |              | OF PROPOSED 1   | WORK Inches   | ing all labor and a<br>g. heating, ventule<br>ice aprinkler, clear<br>neut therein or t | ting, wi | and all permanes<br>were supply plumb<br>wiring and elevate | \$ 6              | 5000         |     |
| 1   | 11.   | State   | how many     | bulldings NOW !   | an  | (Blore Devilles   | Apart    | ment Heues, Retai   | ar other tarres   |              | 9   |
|     |       |         |              | building 3 x  | 40 Number   |   |          |   | highest po        |              |     |
| 4.  | 13. 1 | Mate    | erial Exteri | or Walls . /  | Hoos Beel   | -   | E        | exterior frame  | work . Arm        | -            |     |
|     | 14    | Des     | ribe briefly | all_proposed con  |   |   |          |   | . (**             | od er Steel) |     |
| ō   | 20    | 4       |              | Stuces  |   | Frant   | an       | I ame   | - en              | -            |     |
| å   | 84    | MAX     |              | a   | 2-7-7-  |   |          | 110   | 1.55              |              | _   |
| No. | cale  | OF      |              |   | EVETT   |   |          | VU  | 400.              | 111020       | S,  |
|     | BCY   |         | /×           | J. 27.  | -, -,   | ens.  | *        |   |                   | 1 My No      |     |
|     |       | RECEIPT |              |   | NEW   | CONSTRU   | CTI      | ONUC  | 5 1               |              |     |
| ì   |       | 7       |              | of Addition   | X. Size of  | Lot. x.   | 3        | Number of Sto   | ries when co      | omplete      |     |
| ì   |       | BATE    |              | of Studen x   | Nepth in Grou   |   |          |   |                   |              |     |
|     |       |         |              | eby certify that  |   | 7 7 7 8 W   |          |   |                   |              |     |
|     |       | SSUKD   | and that     | this building or<br>authorized ther<br>California relativ | construction w  | employ any  | beareon  | rith all laws,<br>in violation                              | and that in       | the doing of | 9   |
| +   | H     | Ø       | State th     | Cantoinia Teratii   | ig to Hotelines   | Sign  |          | mike  | Hus               | Cignania.    |     |
|     |       | OVEL    | DISTRICT     |   | 0 550 YANG  | Ву  | 6        | Gala  | or Authorized     | Affect. J.   |     |
|     |       | OER     |              |   |   | ARTMENT U   |          | NEY /   | C. L.             |              |     |
| ż   |       | NO.     |              | PLAN CHECK  | ING   | OCCUP   | LNCY     |   | vestigation F     | ee S 2 ee    | ٠., |
|     |       | (M)     | Valuation \$ |   | man to the second of the parameter                            | Area of B   | idg .    |   | ldg. Permit F     |              |     |
| -   | H     | -       | Fee \$       | Hanlaum Ne  | mife Las  | Tec Tec   | I Loc    | . 7   | otal .            | 45           |     |
|     | 1     | RECEIPT | V            | Occupants   |   | Comer Col Reged   | 10/      | - 4E. E. 20   | Pt. Mile shey     | Bank         |     |
|     | 1     | 3       | GROUP        | Plane and Specifical                                      | inns checked  | Zene  | Fire     | DMALMA  | FL SEA MAY        | - 4          | -   |
|     |       | NO      | 6-1          | $\leq$  |   | 4-2   | No.      | _   | intriet<br>ap Ne. | (0)          |     |
|     |       |         | Far Funs 640 | Correction Terrifice                                      | 1.  | Eldg. Line  | - Liver  | rt Widening   | All But of        | Stiller      |     |
| 2   |       | COD     | Filed wich   | Airid medicions   | and Application   | Cuntispect laces  |          | PRINKLES /  | mperior,          | 10 LA CARRET |     |
|     |       | 20      |              | terphe pig bag vabita                                     | wel   | - Ampiritati  | Value    | ted Requires  | Las               | -            |     |
| -   |       | H       | ,            | Copa  | THE RESERVE AND DESCRIPTION OF THE PERSON NAMED IN COLUMN TWO | T WRITE BEL   | -        | HIS LINE  | -/                |              |     |
|     |       |         |              | OF RECEIPE  |   | TRACER NO.  |          |   | CODE              | PEE PAID     |     |
|     |       | 73      | Plan Check   | dag .   | -   | Ī   |          |   |                   |              |     |
|     |       | FAID    |              | tal Plan Checking   |   |   | -        |   |                   |              | -   |
| *   |       | 9       | Building P   |   | >4 -4.  | 1   | T        | 7269  |                   |              |     |
|     | 4 1   |         |              |   |   | 1   | -        |   |                   | Lance Trans  |     |

APPROVED FOR ISSUE

SYSTEM APPROVED
APPROVED UNDER

(L.A.M.C.-\$700) APPROVED FOR

APPROVED (TITLE 19)

PRIVATE SEWAGE DISPOSAL

FILE #

CASE #

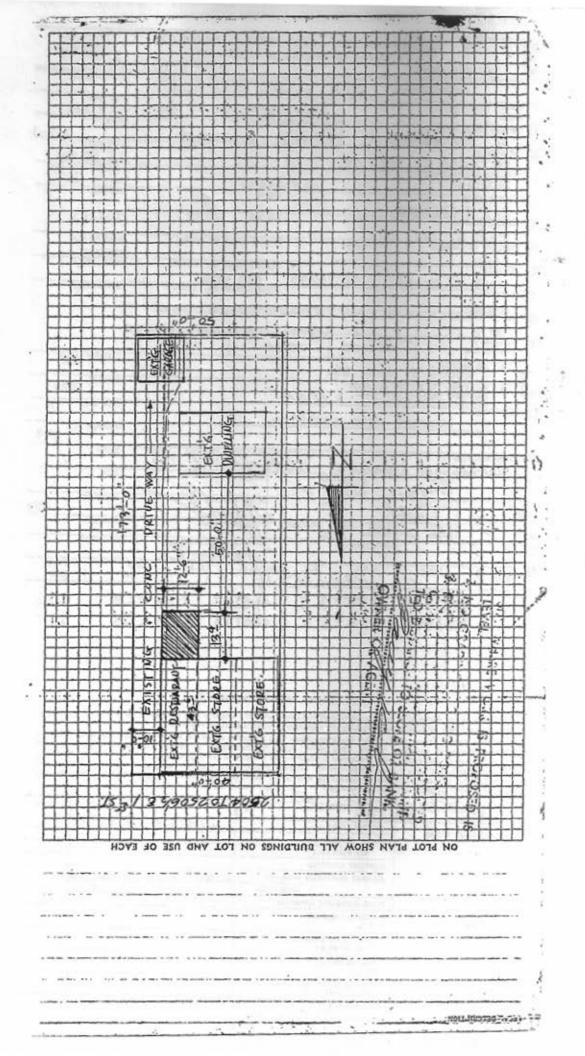
Conservation

Plumbing

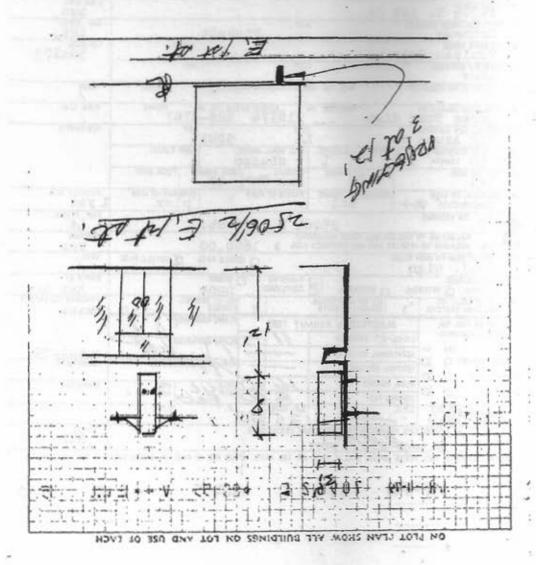
Planning

Fire

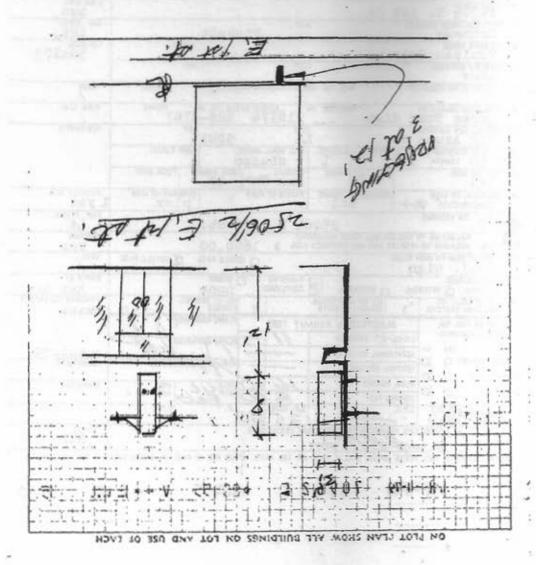
Traffic



| S CITY OF LOS ANGELES  |   | un tun marrar  | DEPT (   | OF BUILDING AND SAFET  |
|--|---|--|--|--|
| INSTRUCTIONS: 1.   | Applicant to Complet  | to Numbered Items Only. 2. Plot  | Plan Required  | on Back of Original.   |
| 1. LOT   | BLK   | TRACT  |  | DIST, MAP  |
| LEGAL 2  |   | Kittredge's Sub  | of AmRu  | 126 221  |
| DESCR.   |   | Port. of Lot 5 B   | k 73 H.  | 5. 2043.00   |
| 2. TYPE OF SIGN OF NE  | w work  | RESIDENTIAL D  | * NOMMERCIAL   | C2-1   |
| a. Jes Agosess   | ATTEN PART  |  | City of the Park   | FIRE DIST.   |
| 2506 E.  |   |  |  | two  |
| Mathews  | LEIS  | Fickett  |  | int.   |
| B. OWNER'S NAME<br>Tomisan (   | afe   | PHON   | E  | LOY SIZE   |
| 6. OWNER'S ADDRESS   | die   | CITY ZIP   |  | 50x173   |
| 5 ame<br>7. ARCHITECT OR ENGIN   | PPS 200 100   |  | A-1731-18  |  |
| 7. ARCHITECT OR ENGIN  | EER BUS LIC   | NO. ACTIVE STATE LIC NO.   | PHONE  | ALLEY  |
| e. QUALIFIED INSTALLE  | R Stan  | 218174 626-676   | PHONE  | BLDG, LINE   |
| . INSTALLER'S ADDRES   |   | CITY ZIP   | 21   | AFFIDAVITS   |
| 322 Azusa  |   | LA 90012   |  | 1,000,000,000  |
| WIOTH 50 LENGTH  | 100 STORIE  | S EXT. WALL CONST. ROOF  | CONST.   |  |
| 11. SIZE OF SIGN   | TOTAL CORY AREA   | OVERALL FROM GRADE :   | FROM ROOF  |  |
| 3x8  | 24<br>SUPPORTING FRAM   | HEIGHT 200 ;   | ACE OF SIGN  | HIGHWAY DED.   |
| CONSTRUCTION %   | → stl   | p.   | ex   | L yes  |
| 13. JOB ADDRESS  | 25  | 06½ E. 1st St.   |  | DIST, OFFICE   |
| VALUATION TO   | O INCLUDE ALL FIXED EQU   | IPMENT   |  | LA<br>GRADING  |
| 14. REQUIRED TO  | OPERATE AND USE PROPOS  | SED SIGN \$ 1600.00  | THE DAY  | yes  |
| Proj. Sign or NE   |   | SINGLE FACE  | DOUBLE FACE  | CONS.  |
| 16. ILLUMINATION   |   | FLASHING OTHER   |  | ZONED BY   |
| NONE INTER   | INO. OF ADDITION  | REVOLVING NONE   |  | Rav are  |
| GAS TUBE SYSTEMS   | ] BRANCH CIRCUIT  | S DEVICES  | 10_  | Okawa  |
| CLEARANCES AND/OR<br>APPROVALS REQUIRED  | ELECTRICAL PI   | ERMIT FEES PLANS CHECKED   | 111  |  |
| Yes No   | SIGNS/G.T. SYSTEMS  | PLANS APPROVE  | U.de   |  |
| FREEWAY SURVEY   XI  | ADDITIONAL CIRCUITS   | APPLICATION OF A   | WIV  | DAT4-4-79  |
| TRAFFIC DEPT. D  | CONTROL DEVICES   |  | NOVEO  | FILED WITH   |
| BOARD D XD   | 8LDG. PERMIT  | 16 60 CONT. 42   | INSP.<br>ACTIVITY E  | INSPECTOR  |
| P.C. I A WOT   | ISSUING FEE   | EP. TOTAL  | G.P.L  |  |
| A RESID  |   | 3560 /   |  |  |
|  | ER'S COMMENSATION INSU  |  |  | TYPIST<br>KCB  |
| PERMIT EXPIRES TWO   | 1 EXEM  | MPT<br>MID OR 180 DAYS AFTER FEE IS PAID   | In conferments   |  |
| SSHERS OF CAMERS | -µ- <del>119</del> 709  | 6 2 E •80455   | V — 2 (  | <b>35.</b> 60  |
| 2  | an application for in<br>necified herein. This<br>ting the violation or<br>and, department, offic<br>or results of any work<br>erformed." | spection, the issuance of which permit does not authorize or perfectly the comply with any application or employee thereof make at described herein, or the concest Sec. 91.0202 L.A.M.C.) | is not an app<br>rmit, nor shal<br>able law. Nel<br>by warranty or<br>lition of the po | roval or an authori-<br>l it be construed as<br>ther the City of Los<br>shall be responsible<br>roperty or soil upon |
| ALSO,  | wher or Agent having Propert  | y Owner's Consent)  a side, if applicable.   | Signature/I  | Date   |
| Bureau of Engineering  | ADDRESS APPROVED  |  | Dalte  | on 4-3-79  |
|  |   |  |  |  |
| Conservation   | APPROVED FOR ISSUE  | NO FILE   FILE CLOSED  |  |  |
| Traffic  | APPROVED FOR ISSUE  |  |  |  |
| Municipal Arts   | APPROVED FOR ISSUE  |  |  |  |
| Planning   | APPROVED UNDER CASE   | E #  |  |  |
| Board of Building and<br>Safety Commissioners F  | ile#  |  |  |  |



WORKER'S COMPENSATION CERTIFICATION



WORKER'S COMPENSATION CERTIFICATION

| 3   | PPLICATION<br>FOR<br>ISPECTION   | 9 5  | O 3  | DEPT. OF BUILDING AND   | 1 2   | REP   | ADD-AL<br>AIR-DEM<br>FOR CERT   | OLISH   |
|---|--|--|--|---|---|---|---|---|
|   | INSTRUCTIONS   |  | ant to Comp  | lete Numbered I   | tems Only.  | OI  | OCCUPA  | NCT   |
| 1. LOT  | The state of the s | BLOCK  | TRACT  | cîttredgés<br>wision.   | CO  | UNCIL<br>STREET NO.   | DIST. MAP<br>126-22<br>CENSUS TR  |   |
| DESCR.  | T USE OF BUILDING  |  |  | USE OF BUILDING   | 1.9   | 00  | 100   |   |
| (O)   | RESIDEN  |  | 6  |   | ENCE  |   | FINE DIST.  |   |
|   | 25083  | & 2510 j   | LST ST   |   | 2   |   | LOT TYPE  |   |
| . OWNER   |  |  | And  |   | PHONE   |   | LOT SIZE  |   |
| S. OWNER  | TKI NISHIY<br>S ADDRESS  | Revises III  | CITY   | 213-269-  | ZIP -   | -   |   |   |
| 7. ENGINE   | 792 LONGHY   | LL DR. )   | LIC. NO.   | ACTIVE STATE LIC.   | NO. PHI   | NE  | ALLEY   |   |
| . ARDRIT  | ECT OR DESIGNER  | 805.   | LIC. NO.   | ACTIVE STATE LIC.   | NO, PHI   | inić  | BLOG. LINE  |   |
| 9. ARCHIT   | CT OR ENGINEER'S   | ADDRESS  | CITY   |   | ZIP   |   | AFFIDAVITS  |   |
| O. CONTRA   |  |  | LIC, NO.   | ACTIVE STATE LIC.   | NO. PHO   | INE CA CA   | NOT   | 220   |
| 1. SIZE   | PID MPG. CO  | STORIES  | HEIGHT NO  | 159596 (  | -39 263<br>DINGS ON LO  | AND USE   | HPa   | Z   |
|   | LENSTH<br>MATERIAL   | EXT. WALLS   | RO   | ASPEALT<br>1808.00  | FLOOR   | 200   |   |   |
|   | TING BLDG. MINH  |  |  |   | STREET GU   | ICE .   | DISTRICT QU   | FFICE   |
| 14.   | 2500<br>VALUATION TO INCL  | BE & 2510  | E 1ST  |   |   |   | SEISMIC ST  | UDY ZONE                                      |
|   | VALUATION TO INCL<br>EQUIPMENT REQUIRE<br>AND USE PROPOSED   | BUILDING   |  | \$ 1808   | .00   |   | GRADING   |   |
| S. NEW WO<br>(Describe  | RE-ROX   | HTTW TO  | 1 1 -  | TET UP CLAS   |   |   | Daniel Control  | FL00D<br>CDMS.                                |
| IW USE OF   | MATE!  |  | BUITT ISIZE OF A   | UP 3 P  | 4  300  | HEIGHT  | ZONED BY  |   |
| PE C  | GROUP SAM  | FLOOR  |  | NONE PLANS CHECKED  |   | _   | FILE WITH   |   |
| /ILL  | THAT   | AREA /   | TOTAL  | APPLICATION AS  |   | ,   | TYPIŞT  |   |
| EST<br>OWS  | PARKING  | PARK   | ING PROVIDED   | a INSPEC  |   |   | INSPECTOR   | -   |
| c.  | SPJ.   | STD.   | COMP.  | CCOMB) CEX.   | -   | CONG.   | BASE  | 1-2 (R 1.63)                                  |
| P.C.  | P.M.   | INSP.  |  | Č   |   | C OSS   |   | 9.00 1000                                     |
| 1 4   | 10 u.50  | Claims for refu  | nd all fees paid or  | 2 2   | # C1 # 11 11 11 11 11 11 11 11 11 11 11 11  | 0 B-CI<br>7 0001  |   |   |
| 1. 254  | 0  | - one year from  | te filed: 1, Within<br>falls of payment of<br>hin one year from<br>Gon of extension                                  | 10 0000   |   | 726/85  | 26.90   | CHTD  |
| s   | 5055   | for building or<br>granted by the  | Con of extension<br>country permits<br>thent of 8, 8 S.<br>6 25.13 LANC.   | 1.77  |   |   |   |   |
| ST. OFFICE  | A. 00  | SPRINKLERS<br>REQ'D SPEC.  | S 2E.13 LANC.  | CASHIER'S   |   |   |   |   |
| C. NO.  | 26.90  | ENERGY   | 0  | i"  | . 7   |   |   |   |
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| usiness an  | 12/85 Lie. Cia   | and my licens<br>C-39  | le in full for   | Chapter 9 (common 159496 Com  | tractor_RI  | GID MF  | G. COMPA  | NY  |
| I hereby a<br>Professions<br>prior to its i<br>provisions of<br>essions Co- | officer that I am ear<br>Code: Any city or a<br>ssuance, also requi-<br>I the Contractor's to<br>log or that he is a<br>a for a name! subti  | own<br>smpt from the C<br>county which re<br>rea the applican<br>license Law (Ch<br>sempt therefrom<br>erin the applican | NER-BUILD<br>contractor's Li-<br>quires a permit for such per<br>apter 9 (come<br>and the basis<br>and to a sixti or | ER DECLARATION Conse Law for the it to construct, after the file a signed rencing with Section to the alleged a possible of not more than the second that the | following sate, improve, distance the Total of Distance the Distance | (Signs<br>son (Sec.<br>emolish, cr<br>at he is lic<br>rision 3 of a<br>y violation<br>dred dotter | 7031.5, Busin<br>repair any a<br>ensed pursuan<br>the Business of<br>of Section 70<br>a resont to | ess and<br>injeture,<br>it to the<br>and Pro- |
| 1 3416.7  |  |  |  | s as their sole com<br>Prolessions Code:<br>nd who does such<br>d for sale. If, however<br>den of proving that  |   |   |   |   |
| [] I am e   | Professions Code:<br>who contracts for<br>sampt under Sec  |  | 8. A P. C. to  |   | an owner of<br>suant to the   | property wi<br>Contractor   | hb builds or in   | mproves<br>w.).                               |
| Date  | Mary Mary I Samuel   | WORKER   | ner's Signature<br>S' COMPEN   | SATION DECLA  | RATION  | aria financia   | ander t   |   |
| Policy No. W  | P-84-24135<br>copy is hereby for   | 3 Insuran  | co Company F   | t-insure, or a certifi<br>REMONT INDE   | MNITY   |   | neation insura  | ince, er                                      |
| Applicant's N   | failing Address P  | .O.BOX 6   | 82 LOS   | ANGELES, C  | A 9002  |   |   |   |
|   | CERTIFICATE C  | E EXEMPTION  | IN FROM V  | VORKERS' COM<br>permit is issued, I<br>a of California.   | PENSATIO  | IN INSUR  | NANCE<br>eraco in any   | manner  |
| OTICE TO  | 100000000000000000000000000000000000000  | Applica  | el's Signature   | f Exemption, you a comply with such   |   |   |   |   |
| voked.  |  | CONS   | TRUCTION   | LENDING AGEN<br>for the performance   | ICY   |   |   |   |
| ec. 3097, C<br>nder's Nam   |  |  |  | _ Londor's Address  |   |   | 1100040 1157 415  |   |
| . I cartify the   | c I have road this   | application and  | state that the   | shave Information   | la correct. I   | agree to  | comply with a   | all city                                      |
| and county of   | dinances and state<br>a above-mentioned;<br>at this permit is an<br>oot euthorize of per<br>any board, departm<br>is of any work desc  | laws relating to   | a building cor<br>section ourpos   | astruction, and here  | by authorize  | representa  | tives of this   | city to                                       |
|   | Depon Bol  | ( Dred   | <u>{</u>   | PRESID  |   | 8/  | 12/85   |   |
| 40  | water or agent havin   | ng property awn  | er's consent?  | Parities  |   | -   | Date  |   |



Application #: Plan Check #: X06LA15379

Printed: 02/01/19 03:19 PM

06016 - 10000 - 16316

Bldg-Alter/Repair 1 or 2 Family Dwelling City of Los Angeles - Department of Building and Safety

Issued on: 08/17/2006

Express Permit No Plan Check

APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

Status Date: 08/29/2006

Last Status: Permit Finaled

KITTREDGE'S SUBDIVISION

LOTO 3

COUNTY MAP REF # MR 6-93

Event Code:

PARCEL ID # (PIN #) 127-5A223 269 2. ASSESSOR PARCEL # 5180 - 006 - 003

3. PARCEL INFORMATION

Area Planning Commission - East Los Angeles

LADBS Branch Office - LA

Council District - 14

Certified Neighborhood Council - Boyle Heights Community Plan Area - Boyle Heights

Census Tract - 2043.00 District Map - 127-5A223 Energy Zone - 9

Fire District - 2 Hillside Grading Area - YES Hillside Ordinance - YES

Methane Hazard Site - Methane Zone Near Source Zone Distance - 8.7 Thomas Brothers Map Grid - 635-B5

ZONES(S): C2-1

4. DOCUMENTS

Z1 - Z1-2129 Eastside State Enterprise Zc CRA - Z1 2270 ADELANTE EAST

Z1 - ZI-2270 Adelante Eastside Redevelc CPC - CPC-1995-336-CRA

ZA - ZA-15109

CDBG - LARZ-Central City

RENT - YES

CDBG - SEZ-Eastside State Enterprise 2

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

YOSHIMOTO, ARTURO HAYASHI, LEO 2625 IST STREET

LOS ANGELES CA 90033

Applicant: (Relationship: Owner-Bldr)

- OWNER-BUILDER

(323) 264-4655

7. EXISTING USE

(01) Dwelling - Single Family

8. DESCRIPTION OF WORK

REPLACE (2) BEDROOM WINDOWS (SAME SIZE & LOCATION)

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By

OK for Cashier: Guillermo Carreon

DAS PC By: Coord. OK:

Signature:

Date:

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org. To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.

For Cashier's Use Only

W/O #: 61616316

II. PROJECT VALUATION & FEE INFORMATION Final For Period Permit Valuation: \$500 PC Valuation: FINAL TOTAL Bldg-Alter/Repair 102.44 Permit Fee Subtotal Bldg-Alter/Re 65 00 Fire Hydrant Refuse-To-Pay E.Q. Instrumentation 0.50 O.S. Surcharge 1.71 Sys. Surcharge 5.13 Planning Surcharge 5.10 5.00 Planning Surcharge Misc Fee Permit Issuing Fee 20.00 Permit Fee-Single Inspection Flag

PROPOSED USE

Payment Date: 08/17/06 Receipt No: LA04-199936

Amount: \$102.44 Method: Credit Card

2006LA97076

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS



Application #:

Event Code:

Plan Check #: B08LA11711

08016 - 10000 - 20045

Printed: 02/01/19 03:19 PM

Bldg-Alter/Repair 1 or 2 Family Dwelling City of Los Angeles - Department of Building and Safety

Issued on: 12/12/2008

Plan Check at Counter Plan Check

APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

Last Status: Permit Finaled

Status Date: 01/16/2009

L TRACT KITTREDGE'S SUBDIVISION

BLOCK LOT(s) 2

COUNTY MAP REP.# M R 6-93

PARCEL ID # (PIN #) 127-5A223 265 2. ASSESSOR PARCEL# 5180 - 006 - 002

3. PARCEL INFORMATION

Area Planning Commission - East Los Angeles

LADBS Branch Office - LA

Council District - 14 Certified Neighborhood Council - Boyle Heights

Community Plan Area - Boyle Heights

Census Tract - 2043.00 District Map - 127-5A223

Energy Zone - 9 Fire District - 2

Hillside Grading Area - YES

Hillside Ordinance - YES

Methane Hazard Site - Methane Zone Near Source Zone Distance - 8.7 Thomas Brothers Map Grid - 635-B5

ZONES(S): C2-1

4. DOCUMENTS

ZI - ZI-2129 East Los Angeles State Enti CRA - ZI 2270 ADELANTE EAST

ZI - ZI-2270 Adelante Eastside Redevelc CPC - CPC-1995-336-CRA

ZA - ZA-15109

RENT - YES

CPC - CPC-6000 CDBG - LARZ-Central City CDBG - SEZ-East Los Angeles State En

5. CHECKLIST ITEMS

Combine Elec - Wrk. per 91.107.2.1.1.1

Combine Plumbg - Wrk. per 91.107.2.1.1.1

Combine HVAC - Wrk. per 91.107.2.1.1.1

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

HAYASHI, LEO AND JUNE M TRS ET AL 901 WANDERING DR

MONTEREY PARK CA 91754

Applicant: (Relationship: Contractor)

(01) Dwelling - Single Family

EDEN NOVELO -

1254 W CREST WAY

MONTERREY PARK, CA 91754

(310) 350-8240

7. EXISTING USE

PROPOSED USE

8. DESCRIPTION OF WORK

REMOVE EXISTING KITCHEN SINK AND BAR SINK; 2ND FLOOR INSTALL 2 OUTLETS; REMOCATE KITCHEN AND WATER HEATER AS PER PLANS PER CORRECTION NOTICE: COMPLY WITH DEPARTMENT ORDER effective date 09/23/2008. PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE

9. # Bldes on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Chris Lee OK for Cashier: Albert Servin DAS PC By: Coord, OK:

Signature:

Date

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org. To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.

For Cashier's Use Only

W/O #: 81620045

II. PROJECT VALUATION & FEE INFORMATION Final Fee Period Permit Valuation: \$2,500 PC Valuation: 0.00 FINAL TOTAL Bldg-Alter/Repair 635.77 Permit Issuing Fee Permit Fee Subtotal Bldg-Alter/Re 130.00 Electrical 18.53 HVAC 9.26 Plumbing 18.53 Plan Check Subtotal Bldg-Alter/Re 0.00 Fire Hydrant Refuse-To-Pay 0.50 E.Q. Instrumentation Investigation 400.00 O.S. Surcharge 11.54 Sys. Surcharge 34.61 Planning Surcharge 7.80 Planning Surcharge Misc Fee 5.00 Sewer Cap ID. Total Bond(s) Due:

Payment Date: 12/12/08 Receipt No: LA01229788

Amount: \$635.77 Method: Refer to ACS

2008LA32441



 CITY OF LOS ANGELES DEPARTMENT OF EUILDING AND SAFETY

#### CERTIFICATE OF OCCUPANCY

NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety.

This certifies that, so far as ascertained by or made known to the undersigned, the building at above address complies with the applicable requirements of the Municipal Code, as follows: Ch. 1, as to permitted uses; Ch. 9, Arts. 1, 3, 4, and 5; and with applicable requirements of State Housing Act,—for following occupancies:

1 Story, Type V. 14x28, Interior alterations to convert Store to a food Establishment, 15 Occupants, G-1 Occupancy

Owner's Address M. Mishiyama

2512 East 1st Street

Los Angeles 33, California

Form B-95a-20M-3-51 G. E. MORRIS, Superintendent of Building By JOHN D. MILLER/ams



Secondary (east) elevation of 2508 East First Street, facing west. Photo by M. Rosalind Sagara.



Secondary (west) elevation, facing northeast. Photo by Andrea Griego.



Rear (south) elevation, facing northwest. Photo by M. Rosalind Sagara.



Rear (south) elevation of 2504-2506½ East First Street, facing northwest. Photo by M. Rosalind Sagara.







Interior views from Otomisan Japanese Restaurant, 2020. Photos by Sue Hwang.



Circa 1918 The Los Angeles Railway's P-Line eastbound on 1st at Alameda. Photo by Metro Transportation and Archive.

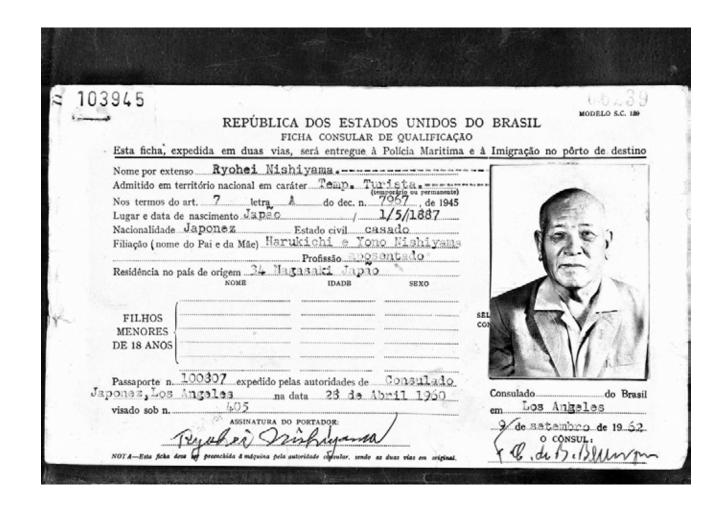


Passport photo of Ryohei Nishiyama, 1955. *CSU Japanese American Digitization Project*. California State University, Dominguez Hills, Archives and Special Collections.



Passport photo of Ryohei Nishiyama, 1962. *CSU Japanese American Digitization Project*. California State University, Dominguez Hills, Archives and Special Collections.

Ryohei Nishiyama, 1962. *Rio de Janeiro, Brazil, Immigration Cards, 1900-1965.* Ancestry.com

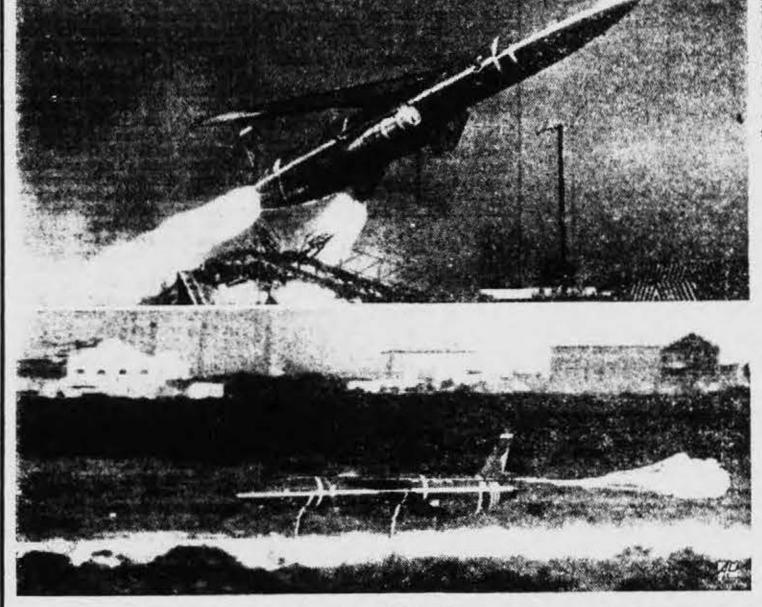


Takeo Nishiyama, 1962. *Rio de Janeiro, Brazil, Immigration Cards, 1900-1965.* Ancestry.com



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1時間・2億 (200 lbs.) 混ぎ

定価 28 弗 50 仙 最寄りの店でお求め下さい

Mutual Trading Co. 803 E. FIRST ST. LOS ANGELES 12 MA 6-9458

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究所

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L.A. 12

230 E. 1st. St., Los Angeles 12

WESTWOOD Sewing School

MA 8-4420 | 3271 E. First St., Los Angeles 12

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岡本

George K. Okamoto

AN 3-0102

3

小叫端叫-教授 杵屋彌代浜

539 E. 21st St.

RI 7-5866

中山式

快癒器

冲戸夫人

Mrs. Y. Okido

MA 6-3675

406 S. Spring St. MA 6-2228

長唄教授

所

教授

539 E. 21st St

RI 7-5866

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Commercial

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梅本サム Sam Reibo Service RI 7-1780

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**小**長

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MA 6-1801

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MA 2-8243

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SU PLUMBING & HEATING CO.

公路

RE 3-0557 AX 3-7000

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RE 4-0434

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MA 6-0783

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排当・ナレ TAKE OUT いたします

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**OTEMO** 2506', E. 1st St AN 8-2421 お本す

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RE 3-9566

Res.: PL 1-7179

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AN 8-2474

め 129 W. 7th St. Oxnard HU 3-9612

MAdison 5-0494

西西 ど屋 2302 W. Jetterson L. A. 18

WE 3-4429

河 屋 權本 RE 2-1282

羅府料

理屋組合

九七五三

E First St., L 5.8595

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御高半年の名をおります。 新大東

S. San Pedro St. MAdison 9-9903 O #2 284 E. First St. MAdison 9-8895 FAR EAST CAFE Chop Suey

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楼楼

MA 4-2075 MA 4-0529 皆様の

カフエー 115 Weller St. MAdison 9-3810

SAN KWO LOW

228 E. First St Los Angeles 12

月·〇田二九 MA HI-DII-E

320 E. First St. MA 4-2953 

あづまカフエー 140 Weller St. MAdison 9-0972 NIKKO-LOW 337-95 E. 1ts St. 日光樓

NANKA UDON



1100

240 E. 2nd St. MA 9-9753

五分間でコック出来る 冷凍生うどん 発費以来多大の好評を散いています 是非一度御試食の程御願い致します

LOS ANGELES

Streetscape No
Adaptive Reuse Incentive Area None

Affordable Housing Linkage Fee

Residential Market Area Low
Non-Residential Market Area Medium
Transit Oriented Communities (TOC) Tier 3

RPA: Redevelopment Project Area Adelante Eastside

Central City Parking No

Downtown Parking No

Building Line None

500 Ft School Zone No

500 Ft Park Zone No

**Assessor Information** 

Assessor Parcel No. (APN) 5180006002

Ownership (Assessor)

Owner1 HAYASHI,LEO TR ET AL HAYASHI TRUST AND

Owner2 HAYASHI,LEA M Address 2625 E 1ST ST

LOS ANGELES CA 90033

Ownership (Bureau of Engineering, Land

Records)

Owner HAYASHI, LEO (ET AL) (TRS) KAYASHI TRUST DTD 3-30-88 (ET AL)

Address 901 WANDERING DR.

**MONTEREY PARK CA 90754** 

APN Area (Co. Public Works)\* 0.199 (ac)

Use Code 1210 - Commercial - Store Combination - Store and Residential

Combination - One Story

Assessed Land Val. \$374,865
Assessed Improvement Val. \$101,956
Last Owner Change 08/03/2016

 Last Sale Amount
 \$9

 Tax Rate Area
 12703

 Deed Ref No. (City Clerk)
 553282-3

 348223

1977021 141303

Building 1

Year Built 1890
Building Class D45B
Number of Units 1
Number of Bedrooms 7
Number of Bathrooms 2

Building Square Footage 3,242.0 (sq ft)

Building 2

Year Built 1928
Building Class D5A
Number of Units 3
Number of Bedrooms 0
Number of Bathrooms 0

Building Square Footage 1,849.0 (sq ft)

Building 3 No data for building 3

Building 4 No data for building 4

Building 5 No data for building 5

Rent Stabilization Ordinance (RSO) No [APN: 5180006002]

**Additional Information** 

Airport Hazard None

None Coastal Zone

Farmland Area Not Mapped

Urban Agriculture Incentive Zone YES Very High Fire Hazard Severity Zone No Fire District No. 1 No

Flood Zone Outside Flood Zone

Watercourse No Hazardous Waste / Border Zone Properties No

Methane Zone Methane Hazard Site

High Wind Velocity Areas No Special Grading Area (BOE Basic Grid Map A-Yes

13372)

Wells None

#### **Seismic Hazards**

Active Fault Near-Source Zone

2.03280264 Nearest Fault (Distance in km) Nearest Fault (Name) Upper Elysian Park Los Angeles Blind Thrusts Region

Fault Type

Slip Rate (mm/year) 1.30000000 Slip Geometry Reverse

Slip Type Poorly Constrained Down Dip Width (km) 13.00000000 Rupture Top 3.00000000 Rupture Bottom 13.00000000 50.00000000 Dip Angle (degrees) Maximum Magnitude 6.40000000

Alquist-Priolo Fault Zone No Landslide No Liquefaction No Preliminary Fault Rupture Study Area No Tsunami Inundation Zone No

#### **Economic Development Areas**

**Business Improvement District** None Qualified Hubzone Opportunity Zone No Promise Zone None

EAST LOS ANGELES STATE ENTERPRISE ZONE State Enterprise Zone

## Housing

Direct all Inquiries to Housing+Community Investment Department

Telephone (866) 557-7368 Website http://hcidla.lacity.org Rent Stabilization Ordinance (RSO) No [APN: 5180006002]

Ellis Act Property No

#### **Public Safety**

Police Information

Bureau Central Division / Station Hollenbeck 467

Reporting District

Fire Information

Bureau Central **Batallion** 1 2 District / Fire Station Red Flag Restricted Parking No

### **CASE SUMMARIES**

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number: CPC-2018-6005-CA

Required Action(s): CA-CODE AMENDMENT

Project Descriptions(s): RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY

OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE

AUTHROITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.

Case Number: CPC-2016-2905-CPU

Required Action(s): CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s): COMMUNITY PLAN UPDATE

Case Number: CPC-2015-1462-CA

Required Action(s): CA-CODE AMENDMENT

Project Descriptions(s): A CODE AMENDMENT TO CREATE A CLEAN UP GREEN UP (CUGU) SUPPLEMENTAL USE DISTRICT AS AN OVERLAY AND

IMPLEMENT IT OVER PARTS OF PACOIMA/SUN VALLEY, BOYLE HEIGHTS, AND WILMINGTON IN ADDITION TO TWO

CITYWIDE AMENDMENTS.

Case Number: CPC-2013-3169

Required Action(s): Data Not Available

Project Descriptions(s): THE PROPOSED PROJECT CONSISTS OF: (1) A TECHNICAL MODIFICATION TO SECTIONS 12.03, 12.04, 12.21, 12.22, 12.24,

13.11, 14.5, 16.05 AND 16.11 OF THE LOS ANGELES MUNICIPAL CODE (LAMC) TO REMOVE OR AMEND REFERENCES TO THE FORMER COMMUNITY REDEVELOPMENT AGENCY (CRA); (2) TECHNICAL CORRECTIONS TO CLARIFY EXISTING REGULATIONS IN THE LAMC THAT ARE IMPACTED BY THE TRANSFER OF LAND USE AUTHORITY; AND (3) A RESOLUTION REQUESTING THAT ALL LAND USE RELATED PLANS AND FUNCTIONS OF THE CRA/LA BE TRANSFERRED TO THE

DEPARTMENT OF CITY PLANNING

Case Number: CPC-2007-5599-CPU

Required Action(s): CPU-COMMUNITY PLAN UPDATE

Project Descriptions(s): BOYLE HEIGHTS COMMUNITY PLAN REVISION (FORMERLY CPU4)

Case Number: CPC-1995-336-CRA

Required Action(s): CRA-COMMUNITY REDEVELOPMENT AGENCY

Project Descriptions(s): PRELIMINARY PLAN FOR THE PROPOSED EASTSIDE INDUSTRIAL AND COMMERCIAL REDEVELOPMENT PROJECT (OCT

1995); AMENDMENT TO ADOPTED REDEVELOPMENT PLAN (JULY 2009)

Case Number: ENV-2019-4121-ND

Required Action(s): ND-NEGATIVE DECLARATION

Project Descriptions(s): RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT

OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE

AUTHROITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.

Case Number: ENV-2018-6006-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s): RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT

OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE

AUTHROITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.

Case Number: ENV-2016-2906-EIR

Required Action(s): EIR-ENVIRONMENTAL IMPACT REPORT

Project Descriptions(s): COMMUNITY PLAN UPDATE

Case Number: ENV-2015-1463-ND

Required Action(s): ND-NEGATIVE DECLARATION

Project Descriptions(s): A CODE AMENDMENT TO CREATE A CLEAN UP GREEN UP (CUGU) SUPPLEMENTAL USE DISTRICT AS AN OVERLAY AND

IMPLEMENT IT OVER PARTS OF PACOIMA/SUN VALLEY, BOYLE HEIGHTS, AND WILMINGTON IN ADDITION TO TWO

CITYWIDE AMENDMENTS.

Case Number: ENV-2013-3392-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s): THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW

ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE

LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14.

Case Number: ENV-2013-3170-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s): THE PROPOSED PROJECT CONSISTS OF: (1) A TECHNICAL MODIFICATION TO SECTIONS 12.03, 12.04, 12.21, 12.22, 12.24, 13.11, 14.5, 16.05 AND 16.11 OF THE LOS ANGELES MUNICIPAL CODE (LAMC) TO REMOVE OR AMEND REFERENCES TO

13.11, 14.5, 16.05 AND 16.11 OF THE LOS ANGELES MUNICIPAL CODE (LAMC) TO REMOVE OR AMEND REFERENCES TO THE FORMER COMMUNITY REDEVELOPMENT AGENCY (CRA); (2) TECHNICAL CORRECTIONS TO CLARIFY EXISTING REGULATIONS IN THE LAMC THAT ARE IMPACTED BY THE TRANSFER OF LAND USE AUTHORITY; AND (3) A RESOLUTION REQUESTING THAT ALL LAND USE RELATED PLANS AND FUNCTIONS OF THE CRA/LA BE TRANSFERRED TO THE

DEPARTMENT OF CITY PLANNING

Case Number: ENV-2007-5600-EIR

Required Action(s): EIR-ENVIRONMENTAL IMPACT REPORT

Project Descriptions(s): BOYLE HEIGHTS COMMUNITY PLAN REVISION (FORMERLY CPU4)

### **DATA NOT AVAILABLE**

CPC-6000 ORD-184246

ORD-129279

ORD-105678

ZA-15109

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●智量、肝臓、罪縁の強化に

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PICKUP TIME 12/31

## RELIGION CALENDAR By Martha Suzuki

Anaheim Free Methodist (714)827-0782. The First Service (traditional /blended in style) will

meet at 8:30 a.m. and the Second Service (contemporary style) will be at 11 a.m. with Pastor Walter Martinez speaking in both services on the topic of fasting. There will be a special prayer tie for Jeremy Yamada who is leaving for Brazil. Sunday School and nursery care are available during the second service. The Japanese speaking service will be held at 11 a.m.

Centenary United Methodist (213)617-9097. The church hosts Nihongo service at 9:30 a.m., English Service and Sunday School at 10:30 a.m., Bible study on Sundays at 9:30 a.m. and Tuesdays at 10:30 a.m. The Twenty First California Pacific Annual Conference will be 22-26 in Redlands.

Christ Presbyterian of Hollywood (323)665-3581. The Rev. Stephen M. Baroldy, pastor, will preach the English sermon on June 26 (Sun.) at 11 a.m. Sunday school for nursery age through senior high age convenes at 10 a.m., while the adult Bible class meets at 9:30 a.m. For map and directions, visit http:// www.pacificpresbytery.org/cg/cgs/ christhollywood,html

**Evergreen Baptist of Los Angeles** warmly invites all to its Sunday worship services at 8:30 a.m. and 11:30 a.m. Church School for all youth starts at 9:30 a.m. Adult CLASS starts at 10 a.m. Rev. Dr. Ken Fong is the Senior Pastor. For more information contact our offices M-F, 8:30 a.m.-4:30 p.m., (626)280-0477, or visit www.ebcia.org.

**Evergreen Baptist of San Gabriel** Valley (626)527-3966, welcomes all to our Worship Services, 8 a.m. and 11 a.m. held at Rio Hondo College Campus Inn, 3600 Workman Mill Rd., Whittier, Church School for infants to adults is 9:30-10:30 a.m. Our Senior Pastor is Rev. Cory Ishida. Our web site is www.evergreensgv.org. E-mail us at info@ebcsgv.org for information.

Faith United Methodist Torrance (310)217-7000. Sunday worship service in English is held at 8:30 a.m. and 10:30 a.m. and led by Rev. Derek Nakano and Rev. Dr. Hidemi Ito, (Pastor of Visitation and Nurture). Japanese language services are led by Rev. Yumiko Miyagawa and begins at 12:15 p.m. Sunday School meets at 8:30 a.m. and 10:30 a.m. each Sunday. Japanese Language Sunday School meets the second & fourth Sunday of each month at 10:40 a.m. Contact the church office for additional information on variety of music classes, bible study, grief support and other small group opportunities.

First Presbyterian of Altadena (626)791-4271. Sunday, June 26 at 9 a.m., Children's Sunday School, Adult Bible Class and Class for youth, 10:30 a.m., Family worship. 10:45 a.m., Toddlers care.

Gardena Buddhist (310)327-9400. June 26, Regular Sunday Service 9:30

Hard to believe, but it's been 60 years

since WWII ended and there were at

least 100 Nisei veterans attending the

sixth annual celebration dedicating the

Go For Broke monument where the To-

kyo club (Yamato Hall) was situated in

the prewar era. Usually there's only one

main speaker at these functions, but this

time we had two-picture and photo is

the Rafu Shimpo. Story says the Res-

cue of the Lost Battalion occurred in

1945-wrong, it was 1944 in October.

Thing to recall is that National JACL at

one time held National Nisei Memorial

Day on the Sunday closest to Oct. 23

when Bruyeres was liberated, followed

by the rescue of the Lost Battalion a

I re-read Pierre Moulin's book, "U.S...

sure I had the correct date—it was Oct.

week later.

Random Thoughts of 60 Years

**VOX POPULI** 

By HARRY HONDA

a.m., Sermon by Rev. Nakano, English, Rev. Miura, Japanese. 11:30 a.m., Coordinating Council.

Gardena Valley Baptist (310) 323-5683. Please join us for Sunday Service 8:45 a.m. or 10:45 a.m. in English as Pastor Steve Langley will finish our series entitled "The Life of Christ" and will speak on, "A Dialogue on Self-Self-Control." Our Junior High and Senior High Sunday School will meet 8:45 a.m. only at Denker Ave. Elementary school Auditorium, 1620 W. 162nd St., Gardena. Our Nichigo Service meets at Denker Ave. Elementary School auditorium at 10:45 a.m. led by Pastor Bunso Otani. There are weekly Bible study groups for Jr. High, Sr. High, College, Young Adults, and Adults and special interest groups: widows, young marrieds, golf, fishing, and 55+. Our email address is gvbc@gvbc.net and web site is www.gvbc.net.

Gedatsu Church, So. South San Gabriel June 25, 26, 11 a.m. Sacramento Rokujizo Bazaar.

Grace First Presbyterian (562)421-4100. Traditional-blended service, 9 a.m., Blended-contemporary service, 10:45 a.m., Church School both hours, Rev. Dr. Steven E. Wirth, Pastor; Rev. Gerald Arata, Rev. Marion Park, Associate Pastors; Stan DeWitt, Minister of Music. www.gracefirst.org

Higashi Honganji Buddhist (213)626-4200. On June 26 (Sun.), Sunday Service will be held at 10 a.m. Dharma talk will be delivered by the Rev. Mi Miyoshi hi in Japanese and the Rev. Imahara in English. Following the service a Betsuin Family Day Luau will take place until 3 p.m. which includes Hawaiian food, hula dancing, games and crafts. Cost is \$2 for adults and children.

Hollywood Independent, UCC (323)664-0036, invites all to Sunday worship service at 10 a.m. with Pastor John Varga

Huntington Beach Lutheran of the Resurrection Japanese Ministry and Pastor Yoshihiro Tanaka, (714)964-1912, welcomes all to Sunday Service on June 26 at 11:30 a.m. Pastor Tanaka will speak on "He Shall Not Lose His Reward." The service will be at Bercaw Hall,

Japanese American Christian Chapel (805)760-4222. Camarillo Japanese Christian Chapel has changed its name and has a new English pastor. Sunday Worship 11 a.m. English with Pastor John Katagi. Japanese with Pastor Shozo Yamamoto, Youth and Children Ministries - Youth with Jennifer Kuge. Children with Ester Kuge

Japanese Evangelical Missionary Society (JEMS) 948 E. Second St., Los Angeles, (213)613-0022. Contact JEMS InfoJEMS.org; phone. www@JEMS.org and ask for Rev. Sam Tonomura, Executive Director for more

Konko Church of Los Angeles (323)268-6980. On June 26 (Sun.) at 11 a.m., Mid-Year Grand Purification Service officiated by the Rev. Alfred Tsuyuki, head minister, will be held. Prior

And the 442nd began that campaign

10 days earlier to liberate the city in

Lorraine (the province in eastern

France), while chasing the Germans

eastward rescuing the Texas Los Battal-

ion of the 36th Infantry Division (the

men who were already surrounded in the

mountain for a week) on Oct. 30 and

continued to push the enemy from the

Vosges forest and mountains back to

ing in Italy-retreating to fight another

day. For the Germans in October-No-

vember, 1944, it was a fight for their

lives and defense of their Fatherland (no

more than an hour's drive today by car

Moulin's book, which he autographed

for me when I bought a copy at the MIS

met him again in Honolulu, still

I spent an hour flipping the pages of

For the Germans, it was unlike fight-

their homeland across the Rhine.

to the service at 8 a.m., mid-year grand cleaning of the church will take place. We're looking forward to members' enthusiastic support. Everyone is invited.

Jodoshu North America Buddhist Missions (213)346-9666. June 25 (Sat.), 10 a.m., Special Nembutsu Practice, June 26 (Sun.), 10 a.m., OBON preparation clean up & Members' meeting. Every Morning, 8:45 a.m., Daily Morning Service.

Koyasan Buddhist (213)624-1267. June 24 (Fri.), 7 p.m., Boy Scout, Girl Scout Assemblies. June 26 (Sun.) 10 a.m., Morning Service. Sermon by Rev. Yokota. 1:30 p.m., Monthly Goma Service. June 29 (Wed.), 7 p.m., Boy Scout, Girl Scout Assemblies.

Los Angeles Holiness (323)733-5000. "Special Delivery: You're a Letter from God" will be the topic of Pastor Rick Chuman for Sunday's 10:15 a.m. worship service in English in the social hall. The Nichigo worship will be at 10 a.m. in the chapel. Graduation Luncheon following service in the social hall.

Los Angeles Hompa Hongwanji Buddhist (213)680-9130. June 26 (Sun.), 10 a.m., Betsuin Sunday Service. Dharma Message in English, Rev. Kenn Koizumi and in Japanese by Rinban George Matsubayashi. 11 a.m., Buddhist Study Class in English by Rev. Briones and in Japanese, Rinban Hour in English by Rev. John Iwohara of Venice Hongwanji Buddhist Temple. Sponsored by the Venice Fujinkai in memory of the late Venice Fuinkai members. June 27 (Tues.), 7 p.m. and June 29 (Thurs.), 7 p.m. Obon Dance practice.

Lutheran Oriental Torrance (310)329-9345. On June 26, 6th Pentecost Sunday and Service of Blessing and Wholeness, at 10 a.m. Pastor Paul Nakamura preaches on "The Sword of Christ: a Cup of Water." Bible Study, 8:45 a.m.

Maryknoll Catholic (213)626-2279, Weekend Masses will be celebrated on Saturday at 5 p.m. (English) and on Sunday at 8:30 a.m. (bilingual) and 10 a.m. (English). Recitation of the rosary is held between Sunday Masses with coffee and donuts following both. Noon Mass is celebrated Monday through Friday, Sunday Raffle is ongoing weekly until Summer Fun Nite on July 23. Maryknoll Karate Club invites all to its "Dinner & Bingo" this Saturday starting at 5:30 p.m. in the auditorium. For further information, please call or visit web site

www.japanesecatholiccenter.com Mission Valley Free Methodist (626)285-6788. June 26 (Sun.), worship for the English speaking congregation is 9:30 a.m. in the sanctuary with Pastor Gary Gaulton speaking on "What To Do If You Married the Wrong Person." Sunday school for children from pre-school to 5th grade starts at 9:30 a.m. Adult Sunday School starts at 11:15 a.m. with the Gospel of Mark in the Prayer Chapel and Women's Bible Study in Room 11. Nichigo Worship is at 9:30 a.m., in the fellowship hall and Bible Study at 11 a.m.

autographing his book at the National

JACL Convention in 2004. Was I sur-

prised to see him there. He had retired

from his work with a pharmaceutical

firm in Luxembourg a couple years ear-

a book that's been sitting on the shelf

And thanks for getting me to peruse

Some numbers to remember: The

100th/442nd suffered 814 casualties

(117 KIA, 657 wounded, 40 missing in

action) in the rescue the "Alamo Regi-

ment" battalion of 211 Texans-about

4 to 1 ratio by numbers of men rescued

and casualties sustained in the rescue.

And Col. James Hanley in his memoirs

("A Matter of Honor") adds that's not

counting "many (Nisei) with respiratory

diseases and trenchfoot." Incidentally,

the Texans never felt they were "lost"-

they knew where they were all the time.

umn are not necessarily those of The

The opinions expressed in this col-

lier and chose to live in Honolulu.

untouched for at least 10 years.

Montebello Plymouth Congregational (323)721-5568. Join us June 26 for worship at 10 a m. with the Rev. Marcia Hoffman, guest speaker. For more information on Summer Exploration VBS, Bible studies, computer classes, dance classes and cultural

classes, please contact the church office. New Life Christian Church, Crescenta-Cañada YMCA, La Cañada English-Speaking: Sunday Worship starts 9:30 a.m. Sunday School for ages infants through 12th grade during the second half of worship. Grow Groups for Youth, Young Adults and Adults meet during the week. Senior Pastor Arnold Doi and Associate Pastor Dave Watanabe are ministers. For information call (818)242-4738.

Nichiren Buddhist Temple (323)262-7886, On June 26 (Sun.), "Shodai-Gyo" starts at 10 a.m. It is one of unique Nichiren-shu practices to chant the title of the Lotus Sutra vigorously, then quietly meditate for oe hour. You will feel spirituality and energy within you. The public is welcome. "Wasan" is another practice for Nichiren-shu members. The practice will be held at 11 a.m. on the fourth Sunday regularly. It is to recite St. Nichiren's life story with rhythm of drums. The 19th days' Memorial Service for the Late Rev. Myoko Seo will be held at 12 noon.

Orange Coast Free Methodist (714)641-1944. Sunday Worship Schedule: Nichigo Service, 9:30-10:30 a.m. English Service, 10:45 a.m. to 12:15 p.m. K-6 Sunday School 11 a.m. to 12:15 p.m. Please check our web site at www.ocfmc.net for directions and any special events or classes

**Orange County Buddhist Church** (714)827-9590. June 26 (Sun.), 8:30 a.m., Meditation Service. 10 a.m., English Service - Rev. Akio Miyaji on "Nembutsu-the Eternal Truth." No Dharma School classes.

Palos Verdes Baptist Church 28 Moccasin Lane, Rolling Hills Estates, (310)541-1811. The church invites you to its worship service on Sunday at 9 a.m. Children's Sunday School and Youth Worship are held at the same time. Junior High and High School students are also invited to exciting Friday Night Fellowship at 7 p.m. For more information about small groups and other children's and youth programs, please call. The Senior Pastor is Ken Tang-Quan.

Pioneer Ocean View UCC (Ocean View UCC & Pioneer UCC merger) now at 2550 Fairfield St., San Diego, (619)276-4881. The church invites you to our Sunday Worship Service at 10 a.m. and hear special music from the Praise Choir. A special congregational meeting on church architectural planning will follow the service. Rev. Norma Nomura DeSaegher is the minister.

Sage Granada Park United Methodist Church, Alhambra (626)570-3801. invites you to English Language Worship Service on June 26 (Sun.), 9:30 a.m. with Marguerite Rivera Bermann preaching. The liturgist will be Doreen Nakamura with Scripture reading by Azariah Rivera. Nichigo Worship also begins at 9:30 a.m.

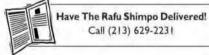
# **OBITUARIES**

Funeral service for late Mr. Akira Rev. Fumio Okazaki of Tenrikyo Southern Pacific Church officiating.

The deceased is survived by his wife, Tomi Seino; brother, Kenichiro (Teru) Seino; sisters, Keiko (Yoshiharu) Uchi and Yoshiko (Masaharu) Sako and Ritsuko (Kozo) Baba both of Japan; sister-in-law, Mieko Seino; and he is also survived by many nieces, nephews and other relatives here and in Japan.



Seino, 60-year-old, Tule Lake, Calif.born resident and long time owner of "Otomisan" restaurant of Boyle Heights, who passed away on June 21 at his residence, will be held on Monday, June 27. 11 a.m. at Fukui Mortuary "Chapel in the Garden" (213) 626-0441, 707 E. Temple St., Los Angeles, Calif., with



**OGINO-AIZUMI INSURANCE AGENCY** 

Pasadena, CA 91101 [Lic# 0542395]

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Los Angeles, CA 90013 [Lic# 0441090]

(213) 680-4190 Fax: (213) 680-9666

(310) 533-8877 Fax: (310) 533-8843

TSUNEISHI INSURANCE AGENCY, Inc.

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367 Van Ness Way, Ste. 611 Torrance, CA 90501 [Lic# 0599528]

1818 W. Beverly Blvd., Ste. 210 Montebello, CA 90640 [Lic# 0606452] (323) 728-7488 Fax: (323) 724-5611

OTA INSURANCE AGENCY, Inc.

SATO INSURANCE AGENCY, Inc.

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420 Boyd St. #4F

Public Service Announcement

Samurais in Bruyeres" (1993) to make reunion in Washington, D.C. in 1993. I

to the river).

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(213) 628-1800 Fax: (213) 628-1926 THE J. MOREY COMPANY, Inc. One Centerpointe Drive, Suite 260 La Palma, CA 90623 [Lic# 0655907]

(714) 562-5910 Fax: (714) 562-8747 dba KENNETH M. KAMIYA INSURANCE Charles M. Kamiya & sons, Inc.

373 Van Ness Ave., Ste. 200 Torrance, CA 90501 [Lic# 0207119] (310) 781-2066 Fax: (310) 781-9411

241 E. Pomona Blvd. Monterey Park, CA 91754 [Lic# 0638513] (323) 727-7755 Fax: (323) 726-3155

J.C.I.A. Officers President.. .Edward Kamiya Secretary... .Paul Ogino .Ron K. Kamiya Treasurer.

in the Rev. Yokoi Chapel. You are invited to come to the front of the Sanctuary following worship for prayers for the Sick, with Laity present to pray with you. Web site: http://www.gbgm-umc.org/sageumc

SGI-USA Los Angeles Friendship Center (323)965-0025 June 26 (Sun.), 10 a.m., Nichiren Buddhism Introduction study Meeting (Room C).

St. Mary's Episcopal (213\)387-1334. On June 26 (Sun.), Holy Eucharist is held in English at 7:30 a.m. and 9:45 a.m. with the Rev. Nicole Janelle as celebrant and preacher at 7:40 a.m. and the Rev. Alix Evans as the celebrant and the Rev. Janelle as the preacher at 9:45 a.m. 12:15 p.m., Holy Eucharist in Spanish.

San Fernando Valley Holiness (818)896-1676. English and Japanese peaking services start at 11 a.m. each Sunday. There is also an early English service from 9 a.m. Join us for a coffee hour at 10 a.m. Activities for children of all ages begin at 11 a.m.

San Fernando Valley Sunrise Japanese Church invites all to Sunday service at 10:45 a.m. with the Revs. Paul and Spring Iwata speaking. During the service, there are Children's Sunday School and the Youth Ministry Hour. On Thursday evening at 7 p.m. on June 16, we will have pecial guests, Ron Brown and Jun Takimoto and his group of 25 singers. Please join us! Sunrise II Church holds a bilingual service on Sunday evenings from p.m., led by the Revs. Paul and Spring Iwata. On the second Wednesday of every month at 7 p.m., a home meeting takes place at Yukio Masai's 1656 W. Gardena Ave., Gardena, (310)329-1586. Also on the second Friday of every month there is a home meeting at Carol Iwahashi's in Temple City, (626)292-7503. Pastor Spring Iwata's Japanese-language 'Springwater' (Haru no Izumi) weekly radio broadcast is heard on KTYM AM 1460 on Sundays at 3:30 p.m. For information call (818)782-8738 or visit our web site at sunrisejapanesechurch.org

Senshin Buddhist (323)731-4617. June 26 (Sun.), 9:30 a.m., Family Service. 10:30 a.m., Study Class - Rev. Kodani and Japanese Sermon - Rev. Shoki Mohri, BCA Minister Emeritus and Dharma School, June 27 (Mon.), 7:30 p.m., and Wednesday, June 29, 7:30 p.m., Bon Odori Practice.

South Bay Community Church, Gardena (310)972-2910. June 26, Sunday services are at 9:30 & 11 a.m. There is also Wednesday Night Service at 7:15 p.m.

The Lord's Cross Christian Center L.A. Church (818)247-4926. Sunday services at 9 a.m. (English) and at 11 a.m. (Japanese) and Wednesday Prayer Meeting at 7 p.m. (Japanese) and at 8 p.m. (English) at Glendale YMCA.

Union Church of Los Angeles (213)629-3876, welcomes all to its English Service June 26 (Sun.) at 11 a.m. with Pastor Ken Yabuki speaking on "The Secret of Deepening Faith." Parking is available at Joe's Parking (Sho Tokyo Parking) on Second Street on Sundays

Venice Hongwanji Buddhist Temple (310)391-4351. Family Sunday Service 9:30 a.m., Dharma School at 10:30 a.m., Adult Discussion with Rev. Iwohara. Daily Service at 9:30 a.m., except Wednes- a.m., Garden Cleaning.

days. Monthly Japanese Service at 1:30 p.m., First Sunday of each month. Obon Festival on July 16 & 17. Everyone is invited to join any of our activities. Please call or visit our webs ite at www.vhbt.org

Venice Santa Monica Free Methodist Worship and Sunday School: English: - worship: 8:45 a.m. and 10 a.m., Sunday school: kids - 8:45 a.m. & 10 a.m., adults - 8:45 a.m., 10 a.m., & 11:30 a.m. Japanese - worship: 11:30 a.m., Sunday school - 10 a.m.

West Adams Christian (323)733-5860. The Church welcomes you to attend Sunday Services June 26 at 9:30 a.m. Pastor James Wilbar will speak on "A Clean Heart," Joe Nagano will serve

West Covina Buddhist Sunday gathering at 1203 W. Puente Ave .. (626)913-0622. On June 26 (Sun.) at 10 a.m., the temple will hold its Sunday Service at 10 a.m. with the Rev. Kenjun Kawawata officiating and delivering the Dharma message.

West Covina Christian Church (626)917-0743. Please join us for Sunday service in English at 10:30 a.m. (Rev. Rick Iwanaga). Nichigo worship is at 9 a.m. Children and Adult Sunday School classes start at 9:15 a.m. We have our weekly Bible Study every Tuesday except second week of the month. For more information, please call (626)917-0743 or e-mail us at contactwccc@juno.com,

West Los Angeles Buddhist (310)477-7274. June 26 (Sun.), 9:30 a.m., Sunday Service (English and Japanese) and Dharma School with Rev. F. Usuki. Everyone is welcome. June 28 (Tues.) & June 30 (Thurs.), 7:30 p.m., Obon dance Practice. Everyone is welcome. June 29 (Wed.), 7:30 p.m., taiko class, everyone is welcome. June 30 (Thurs.), 1 p.m., Study class (in English) with Rev. F. Usuki. Everyone is welcome. July 1 (Fri.), 7:30 p.m., Shotsuki Hoyo.

West Los Angeles Holiness Church Sunday schedule will be Nichigobu worship, 9:30 a.m., English worship, 11:30 a.m. and English Sunday School, 9:40 a.m. The Rev. Takashi Furuyama is the Nichigo minister and Pastor Stephen Sato leads the English worship.

West Los Angeles United Methodist (310)479-1379, invites all to join its Sunday worship in English at 9:30 a.m. led by the Rev. Gail Nakamura Messner. At 11 a.m., the Rev. Kana Shimasaki will lead the Japanese Language Service. Child care is provided.

West Valley United Methodist (818)886-5553. West Valley UMC, and Chatsworth UMC, which share the same church facilities will hold a joint service on the first Sunday of each month. at 10 a.m. with the Rev. Ruy Mizuki, pastor of both church, presiding. There is Sunday School for children. Coffee Hour

follows worship. Wintersburg Presbyterian (714)740-9400. Sunday worship in English, 10:10-11:30 a.m. Nichigo Service 9-10 a.m. Sunday School & Bible Studies all ages: 9 a.m. Nichigo, 10:20 a.m. College/Young Adults Bible Study, 6 p.m.

Zenshuji Soto Mission (213)624-8658. June 25 (Sat.), 6:30 a.m., Zen Meditation (Zazen), June 26 (Sun.), 8

# RAFU CALENDAR

(Readers who wish to publicize events or their non-profit organizations in the Community Calendar are encouraged to send in news releases—in one brief sentence containing the essential facts—to Community Calendar, English Section, The Rafu Shimpo, 259 S. Los Angeles St., Third Floor, Los Angeles, CA 90012.)

June 25-Join the Orange County Sansei Singles (OCSS) for their P.F. Chang's Tabemasho/Casual Activity Night, 5 p.m. at P.F. Chang's China Bistro, 2041 Rosecrans Ave. El Segundo. Cost \$25 members, \$30 non-members. Maximum 30 persons. RSVP by June 18. For information call Larry at (310) 649-5293 or Peggy at (323) 727-9989. June 25—It's finally summer! Join

the Norwalk Dance Club's "Summer Social" from 7 to 11 p.m. at the Southeast Japanese School & Community Center, 14615 S. Gridley Road in Norwalk. The cost is \$8 for members and \$10 for nonmembers. Music for dancing will be provided by Frances Jew and line dancing will be led by Edna Kurihara during intermission. Refreshments will also be served. For more information and table reservations, call Edna at (714) 847-1173 or e-mail yusokur@prodigy.net.

June 25—The next meeting of the Parkinson Support Group of Little To-

kyo is scheduled for June 25 from 10 a.m. to 12 noon at the Union Church of Los Angeles, 401 E. Third St., Los Angeles. Ms. Melody Ou Young, speech and language pathologist and manager of the Speech Pathology Department at the USC University Hospital, will be the guest speaker for the day. For further information, call Alice at (323) 726-9286 or the church at (213) 629-3876.

June 25- 5:30 to 9:30 p.m. -Maryknoll Karate's Bingo Nite featuring big cash pots, delicious beef teriyaki, free door prizes, kids, activity center, and lotsa fun! Maryknoll Catholic Center. 222 So. Hewitt St., Los Angeles (2 blocks east of Alameda on 2nd St. in Little Tokyo). Bingo players must be 18 yrs. or older to play, but there will be a kid's activities center for those who are under age. For further info contact James Uyeda at (213) 489-6873.

June 25, 26-The Sun Valley Japanese Community Center will hold its annual Obon Festival from 5 to 10 p.m. at the Center, 8850 Lankershim Blvd. Sun Valley. There will be Japanese and other foods for sale. The free event features demonstrations of taiko, judo, karate and kendo clubs, along with ondo, as well as, carnival games, exhibits of calligraphy, tea ceremony, ikebana and sumi-e. For information, call (213) 897-4369.

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# City of Los Angeles Department of City Planning

## 10/8/2020 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

2506 1/2 E 1ST ST 2504 E 1ST ST 2508 E 1ST ST 2506 E 1ST ST

ZIP CODES

90033

**RECENT ACTIVITY** 

CHC-2020-6022-HCM ENV-2020-6023-CE

**CASE NUMBERS** 

CPC-6000 CPC-2018-6005-CA

CPC-2016-2905-CPU CPC-2015-1462-CA

CPC-2013-3169

CPC-2007-5599-CPU CPC-1995-336-CRA

ORD-184246

ORD-129279 ORD-105678

ZA-15109

ENV-2019-4121-ND ENV-2018-6006-CE

ENV-2016-2906-EIR ENV-2015-1463-ND

ENV-2013-3392-CE ENV-2013-3170-CE ENV-2007-5600-EIR Address/Legal Information

PIN Number 127-5A223 265
Lot/Parcel Area (Calculated) 8,643.2 (sq ft)

Thomas Brothers Grid PAGE 635 - GRID B5

Assessor Parcel No. (APN) 5180006002

Tract KITTREDGE'S SUBDIVISION OF A PORTION OF LOT 5 BLOCK 73

HANCOCKS SURVEY

Map ReferenceM R 6-93BlockNoneLot2

Arb (Lot Cut Reference)

Map Sheet

None

127-5A223

**Jurisdictional Information** 

Community Plan Area Boyle Heights
Area Planning Commission East Los Angeles
Neighborhood Council Boyle Heights
Council District CD 14 - José Huizar

Census Tract # 2043.00

LADBS District Office Los Angeles Metro

**Planning and Zoning Information** 

Special Notes None
Zoning C2-1-CUGU

Zoning Information (ZI) ZI-2129 State Enterprise Zone: East Los Angeles

ZI-2458 Clean Up Green Up (CUGU): Boyle Heights ZI-1117 MTA Right-of-Way (ROW) Project Area ZI-2452 Transit Priority Area in the City of Los Angeles

ZI-2488 Redevelopment Project Area: Adelante Eastside

General Plan Land Use Highway Oriented and Limited Commercial

General Plan Note(s) Yes
Hillside Area (Zoning Code) No
Specific Plan Area None
Subarea None
Special Land Use / Zoning None

Historic Preservation Review No Historic Preservation Overlay Zone None Other Historic Designations None Other Historic Survey Information None Mills Act Contract None CDO: Community Design Overlay None CPIO: Community Plan Imp. Overlay None Subarea None

CUGU: Clean Up-Green Up Boyle Heights

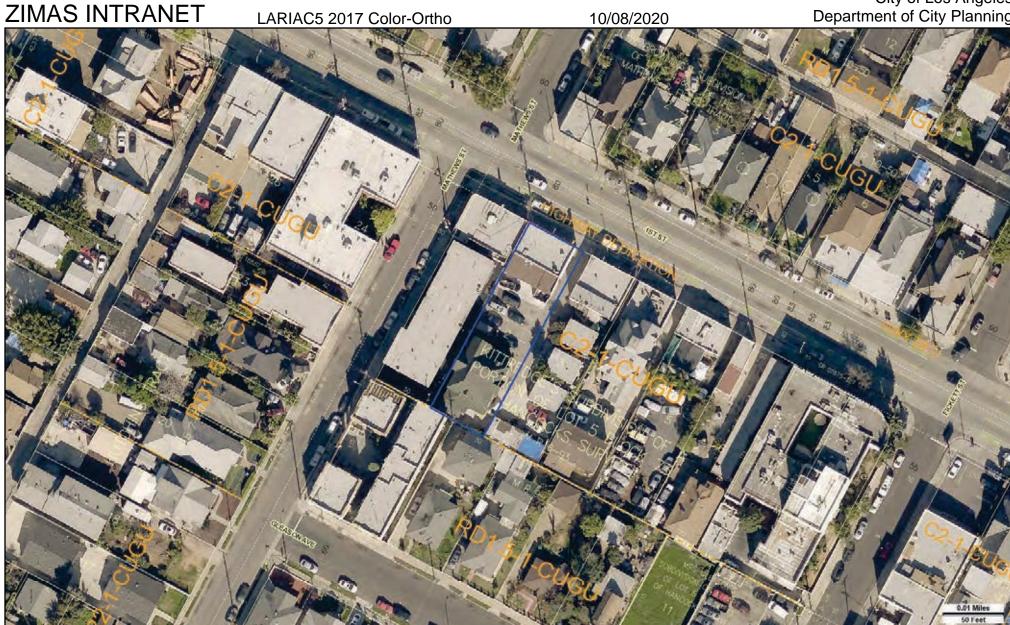
HCR: Hillside Construction Regulation No
NSO: Neighborhood Stabilization Overlay No
POD: Pedestrian Oriented Districts None
RFA: Residential Floor Area District None
RIO: River Implementation Overlay No
SN: Sign District No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

City of Los Angeles Department of City Planning

LARIAC5 2017 Color-Ortho

10/08/2020



Address: 2506 E 1ST ST

APN: 5180006002 PIN #: 127-5A223 265 Tract: KITTREDGE'S SUBDIVISION OF A PORTION OF LOT 5 BLOCK 73

HANCOCKS SURVEY

Block: None

Lot: 2 Arb: None Zoning: C2-1-CUGU

General Plan: Highway Oriented and Limited Co

